

CERTIFICATIONS/APPROVALS

MUNICIPALITY
THIS PLAN IS HEREBY APPROVED BY THE LAND USE BOARD
OF THE TOWN OF CLINTON, HUNTERDON COUNTY

DATE _____ BOARD CHAIRMAN

DATE _____ BOARD SECRETARY

DATE _____ BOROUGH ENGINEER

I HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE
REFERENCED PROPERTY AND THAT I CONSENT TO THE FILING
OF THIS MAJOR SITE PLAN WITH THE PLANNING BOARD OF THE
TOWN OF CLINTON

DATE _____ HEMANT DESAI

GENERAL NOTES:

- OWNER/APPLICANT:
ANSUYA ENTERPRISE OF CLINTON, LLC
(BLOCK 18, LOT 2.04)
ANSUYA RIVERBEND, LLC
(BLOCK 17, LOT 2, BLOCK 18, LOTS 2.03 & 6)
16 FIELDSTONE DRIVE
CLINTON, NJ, 08809
PHONE: 908-303-9817
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SITE
PLAN FOR ANSUYA RIVERBEND, LLC", PREPARED BY DAVID A STRIES ASSOCIATES, LLC, DATED
AUGUST 28, 2018, OR LAST REVISED.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR
BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- THE ATTACHED PLAN REFERENCE PLANS ENTITLED "FINAL SITE PLAN FOR ANSUYA
RIVERBEND, LLC", PREPARED BY DAVID A STRIES ASSOCIATES, LLC, DATED AUGUST 28, 2018,
OR LAST REVISED.
- ALL ELEVATIONS GIVEN ARE ON USGS DATUM.
- THE SUBJECT PARCEL CONSISTS OF 596,395 SF (13.691 ACRES).
- NO DEED RESTRICTIONS OR COVENANTS ARE PROPOSED FOR THE SITE.

NOTES:

- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY
APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS
UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH
DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE.
LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND
AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.

TOWN OF CLINTON ZONING REQUIREMENTS				
ITEM	REQUIRED	EXISTING/PREVIOUSLY APPROVED	PROPOSED	VARIANCE REQUESTED
ZONING DISTRICT OB-4 (OFFICE RESEARCH)				
MIN. LOT AREA (S.F.)	217,000 S.F.	596,395 S.F.	596,395 S.F.	-
MAX. LOT DEPTH (FT)	600 FT.	723.86 FT.	723.86 FT.	(ENC)
MIN. LOT WIDTH STREET (FT)	350 FT.	545.63 FT.	545.63 FT.	-
MIN. LOT WIDTH BUILDING LINE (FT)	350 FT.	1,032.19 FT.	1,032.19 FT.	-
BUILDING SETBACKS FOR PRINCIPAL STRUCTURE				
FRONT YARD SETBACK (FT)	100 FT.	152.32 FT.	100 FT.	-
SIDE YARD SETBACK - ONE SIDE (FT)	50 FT.	306.70 FT.	80.08 FT.	-
SIDE YARD SETBACK - BOTH SIDES (FT)	100 FT.	163.71 FT.	539.84 FT.	-
REAR YARD SETBACK (FT)	50 FT.	394.09 FT.	373.09 FT.	-
MAX. BUILDING HEIGHT (FT)	40 FT.	46.88 FT.*	46.88 FT.*	ENC
MAX. FLOOR AREA RATIO (%)	15 %	14.73 %	14.75 %	-
MAX. IMPERVIOUS COVERAGE (%)	50 %	28.70 %	26.09 %	-

(V) INDICATES THAT A VARIANCE IS REQUIRED

(-) INDICATES NO VARIANCE IS REQUIRED

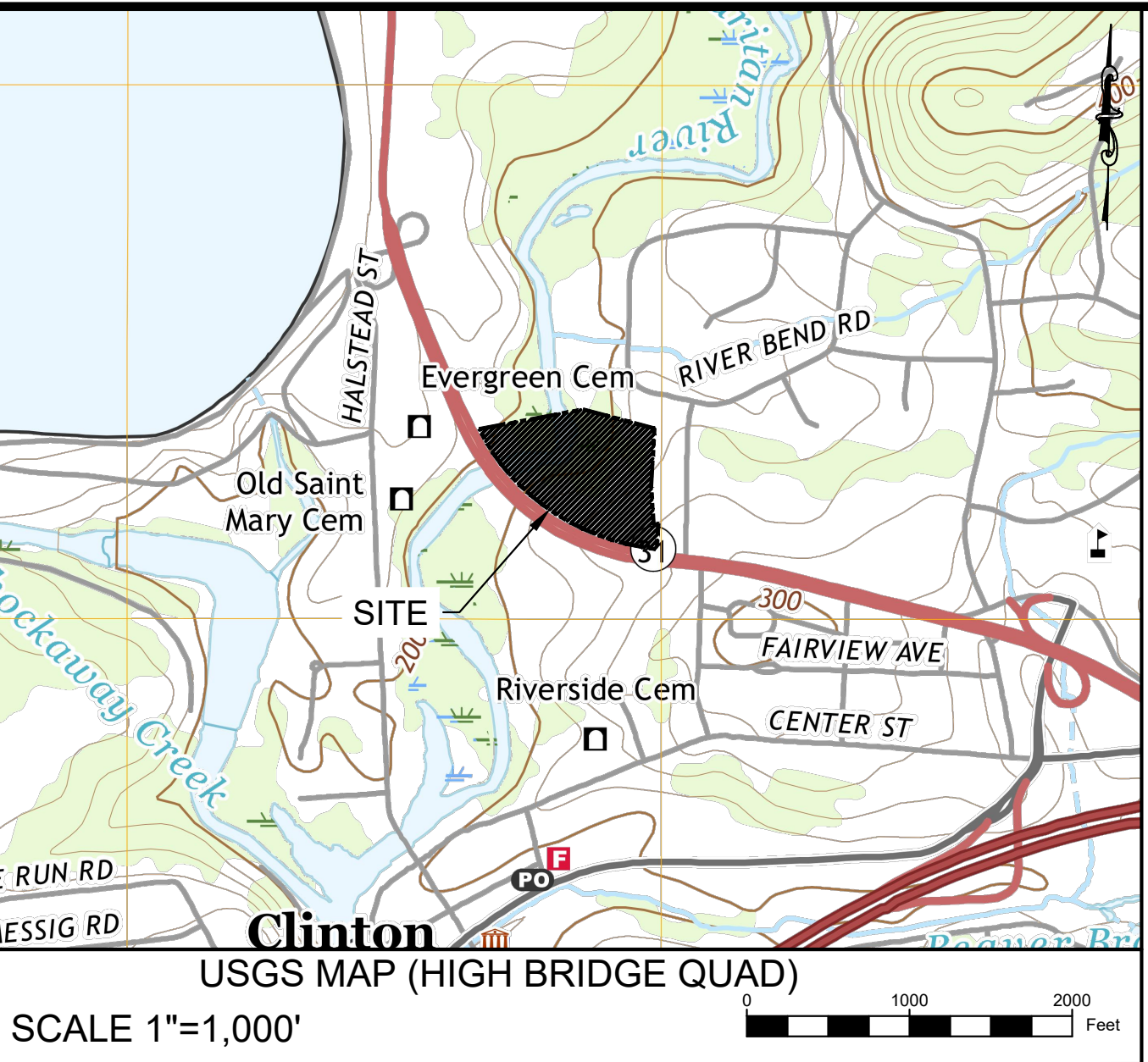
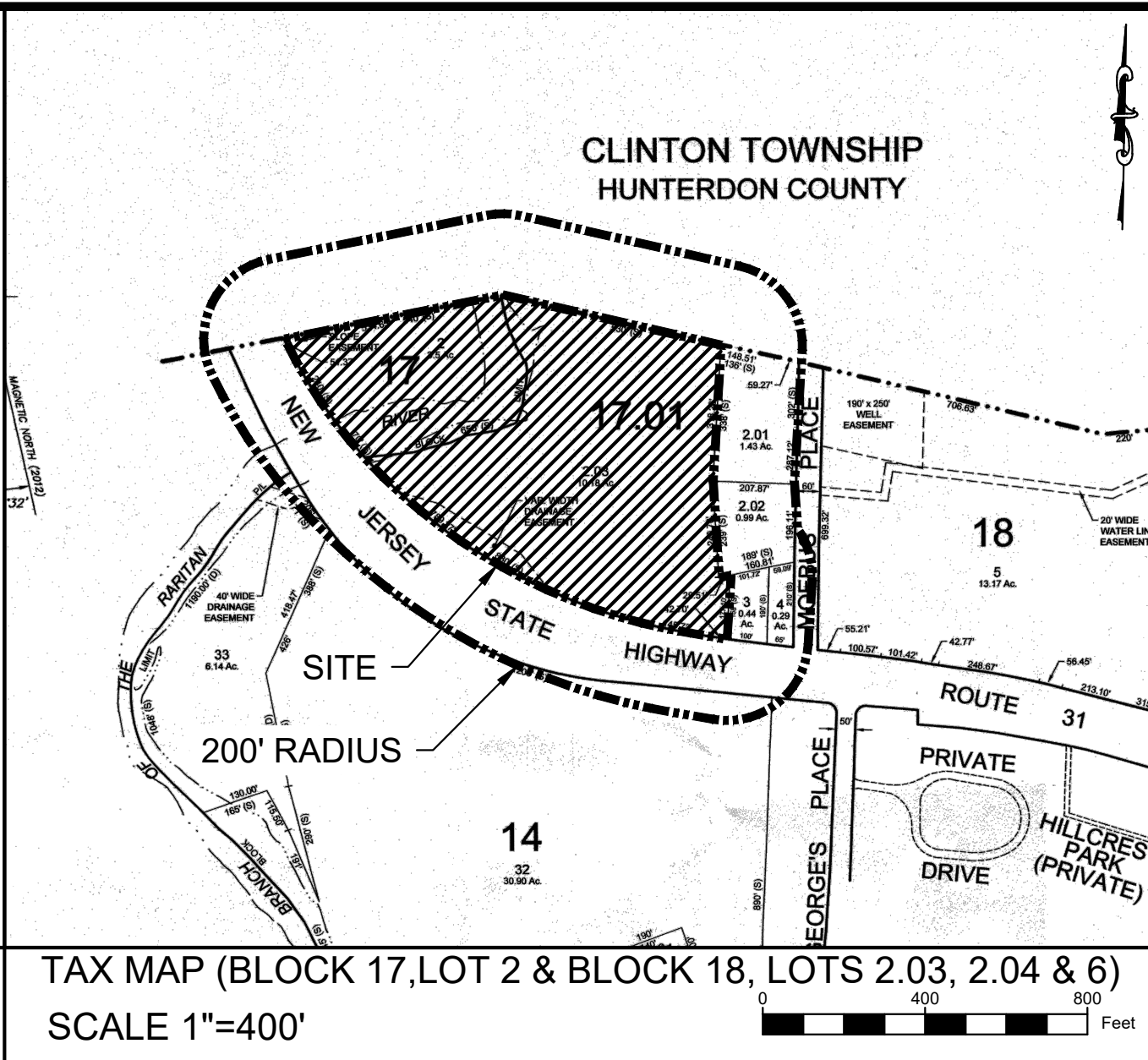
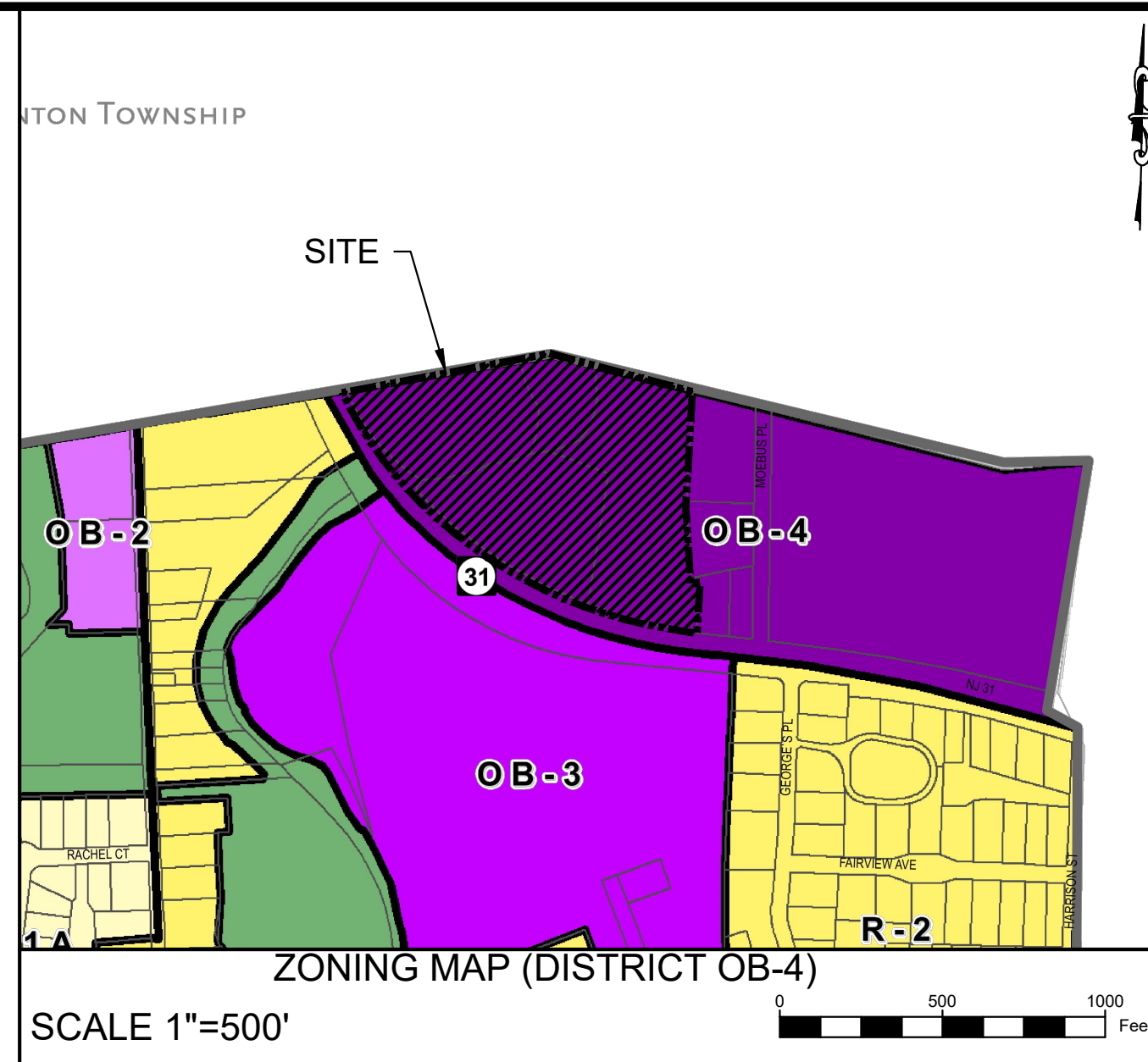
(ENC) INDICATES AN EXISTING NON-CONFORMING CONDITION

- BUILDING HEIGHT OF 46.88 IS OF THE APPROVED HOTEL PLANS, THE EXISTING HOTEL
BUILDING HEIGHT IS NOT CHANGING AS PART OF THIS APPLICATION
- BUILDING HEIGHT OF PROPOSED FAST FOOD RESTAURANT WILL BE LESS THAN 30'
- BUILDING HEIGHT OF PROPOSED MIXED USE BUILDING (BAR/RESTAURANT, MEETING
SPACE AND HOTEL WILL BE 40.00' PER ARCHITECT
- MAX IMPERVIOUS COVERAGE IS BEING REDUCED WITH THE REMOVAL OF THE
APPROVED 3 STORY OFFICE BUILDING PER THE 2018 SITE PLAN SET.

FLOOR AREA CALCULATIONS

HOTEL (PER 2018 SITE PLAN):	MIXED USE BUILDING:	FAST FOOD RESTAURANT:	MEETING SPACE:
1ST FLOOR: 15,424 SF	1ST FLOOR: 8,040 SF	1ST FLOOR: 2,540 SF	1ST FLOOR: 1,200 SF
2ND FLOOR: 13,982 SF	2ND FLOOR: 8,040 SF		
3RD FLOOR: 13,982 SF	3RD FLOOR: 8,040 SF		
4TH FLOOR: 13,982 SF			
BASEMENT: 2,762 SF			
TOTAL: 60,132 SF	TOTAL: 24,120 SF	TOTAL: 2,540 SF	TOTAL: 1,200 SF

TOTAL FLOOR AREA : 87,992 SF FLOOR AREA RATIO: 87.992 SF / 596,395 SF = 14.75%



HUNTERDON COUNTY USE ONLY

AMENDED PRELIMINARY PHASE 2 SITE PLAN AND AMENDED PRELIMINARY & FINAL PHASE 3 SITE PLAN FOR ANSUYA ENTERPRISE OF CLINTON, LLC ANSUYA RIVERBEND, LLC

BLOCK 17, LOT 2 & BLOCK 18, LOTS 2.03, 2.04 & 6
TOWN OF CLINTON, HUNTERDON COUNTY, NJ

PREPARED BY
ENGINEERING & LAND PLANNING ASSOCIATES, INC.
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

PLAN INDEX	
SHEET No.	TITLE
1.	COVER SHEET
2.	EXISTING CONDITIONS PLAN
3A.	PHASING PLAN
3.	SITE PLAN
4.	GRADING PLAN
5.	DRAINAGE PLAN
6.	UTILITY PLAN
7.	LANDSCAPE PLAN
8.	LIGHTING PLAN
9.	SOIL EROSION & SEDIMENT CONTROL PLAN
10.	SESC NOTES
11.	SESC DETAILS
12-15.	CONSTRUCTION DETAIL

OUTSIDE AGENCY APPROVALS:

- HUNTERDON COUNTY PLANNING BOARD
- HUNTERDON COUNTY SOIL CONSERVATION DISTRICT
- NEW JERSEY DEPARTMENT OF TRANSPORTATION - LETTER OF NO INTEREST

**PROPERTY OWNERS
WITHIN 200 FEET OF SITE**

BLOCK	LOT	OWNER'S NAME AND ADDRESS
14	32	ANNE HELGREN OF CLINTON, LLC 3 WENLA COURT MANTON, NJ 07728
14	33	ELIZABETHTOWN WATER C/O AMERICAN WATER SHARED C/O BIRCH STREET CHERRY HILL, NJ 08034-0580
17	2	ANSUYA ENTERPRISE OF CLINTON LLC PO BOX 10 ANNVILLE, NJ 08801
17.01	2.01	14 MOEBIUS LLC 14 MOEBIUS PLACE CLINTON, NJ 08809
17.01	2.02	REKUM LLC 12 MOEBIUS PLACE CLINTON, NJ 08809
17.01	3	SARAHANA LLC 5 CEDAR HILL ROAD ASBURY, NJ 08802
17.01	4	SARAHANA LLC/J. GLEICHER 5 CEDAR HILL ROAD ASBURY, NJ 08802
		CLINTON TOWNSHIP E229 RT. 38 SOUTH LESLAND, NJ 08533

BLOCK	LOT	OWNER'S NAME AND ADDRESS
69	1	EVERGREEN SEMINARY ASSOC - C248002 105 BELMONT ROAD BLOOMFIELD, NJ 07004
70	2.01	STATE OF NJ DOT E229 PARKWAY AVENUE PRINCETON, NJ 08542
71	24	HAGEN, SUSAN 25 RIVER BEND ROAD CLINTON, NJ 08809
71	25	ERINSON, JOSEPH & BERENGA 27 RIVER BEND ROAD CLINTON, NJ 08809
71	26	MEMORIOSKI, CHRIS & JUSTIN E 25 RIVER BEND ROAD CLINTON, NJ 08809
71	27	BERENGA, BERENGA & IRONIA 27 RIVER BEND ROAD CLINTON, NJ 08809

**UTILITY & OTHER
AGENCY CONTACTS**

ELIZABETHTOWN GAS CO. P.O. BOX 1400 ELIZABETH, N.J. 07201-1400	CLINTON WATER DEPARTMENT 275 ROCK CREEK FIRST FLOOR, CLINTON CLINTON, NJ 08809
NJDEP 300 BROADWAY AVENUE & PLAZA BOWL ROAD MORRISTOWN, NJ 07960	CLINTON WATER DEPARTMENT TOWNSHIP OF CLINTON SEWERAGE AUTHORITY CLINTON, NJ 08809
CLINTON TOWNSHIP 100 W. MAIN STREET CLINTON, NJ 08809	CLINTON WATER DEPARTMENT 275 ROCK CREEK CLINTON, NJ 08809
CLINTON TOWNSHIP 100 W. MAIN STREET CLINTON, NJ 08809	DELE ENERGY CORPORATION 20 SOUTH MAIN STREET CLINTON, NJ 08809
CONTACT CABLE COMPANY CONSUMER SERVICE OF WASHINGTON ROAD SOMERSET, NJ 08876	SPRING AND RED TELEPHONE CO. 100 W. MAIN STREET CLINTON, NJ 08809
CONTACT CLINTON HEADQUARTERS 100 W. MAIN STREET CLINTON, NJ 08809	NEW JERSEY AMERICAN WATER COMPANY, INC. E229 RT. 38 SOUTH PO BOX 2000 CLINTON, NJ 08809
ELIZABETHTOWN GAS CO. P.O. BOX 1400 ELIZABETH, NJ 07201	

STATE AGENCIES: STATE OF NEW JERSEY
DEPARTMENT OF TRANSPORTATION
CLINTON, NJ 08809

NOTE: NOTICE SHALL BE SENT OFF OF CERTIFIED LIST FROM TAX ASSESSOR

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140 WEST MAIN STREET		HIGH BRIDGE, NJ 08829	
PH. 908-238-0544		FAX. 908-238-9572	
A PROFESSIONAL ASSOCIATION			
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022			
2	REVISED PER DRAINAGE CHANGES	EAJ	6/11/2021
1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21
NO.	REVISION	BY	DATE

6/11/2021
DATE

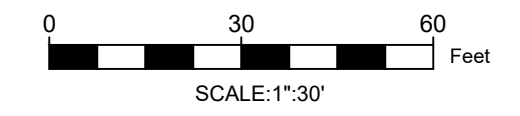
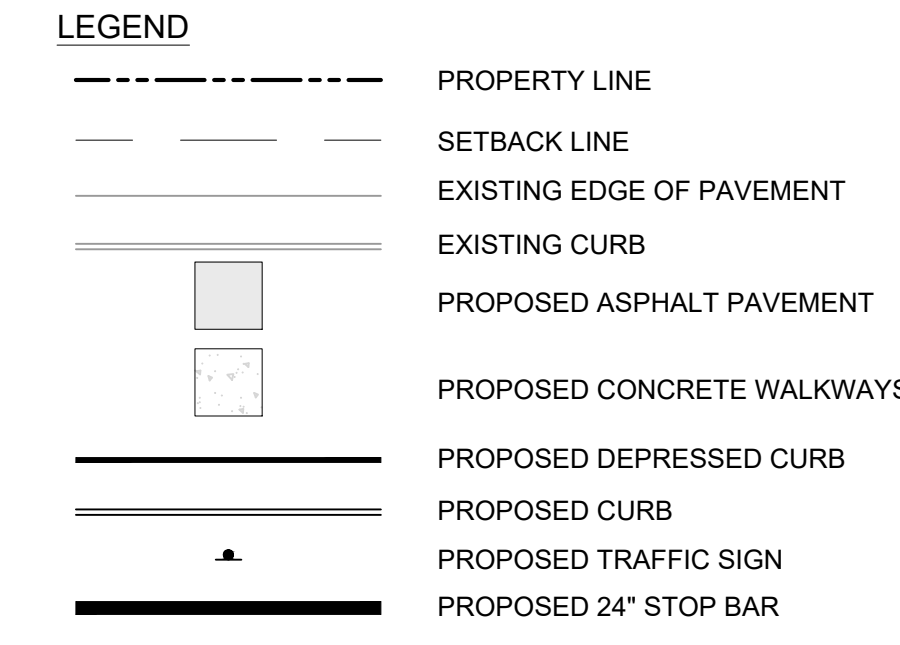
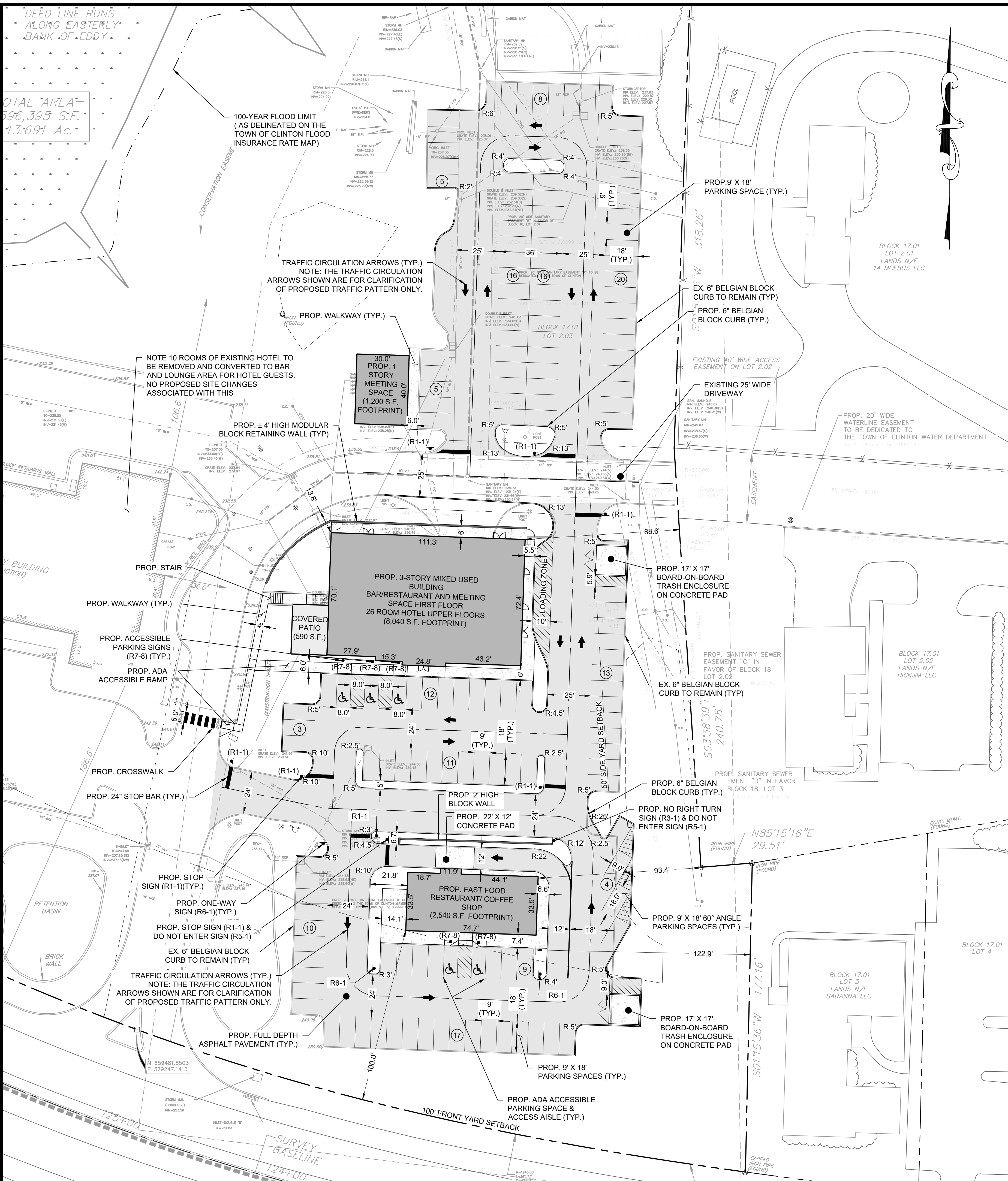
WAYNE J. INGRAM
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GB04258200

PROJECT:
ANSUYA ENTERPRISE OF CLINTON, LLC
& ANSUYA RIVERBEND, LLC
BLOCK 17 LOT 2 &
BLOCK 18 LOTS 2.03, 2.04, & 6
TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:
COVER SHEET

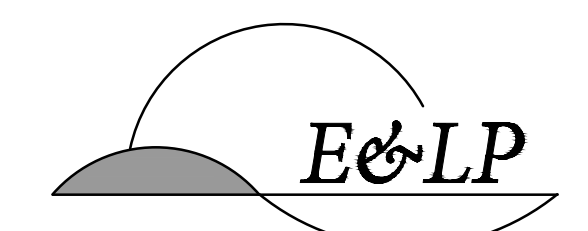
JOB NO.:	0120281	DRAWING NO.:	
SCALE:	N.T.S.		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	01_COVER.DWG		
DATE:	12/11/2020		



NOTE:

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6/11/2021 DATE

 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

SITE PLAN

JOB NO.:	0120281	DRAWING NO.:	3
SCALE:	1"=30'		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	SITE.DWG		
DATE:	12/11/2020		

IMPERVIOUS COVER CALCULATIONS

EX. ITEM	PREVIOUSLY APPROVED COVERAGE (S.F.)	PERCENTAGE (%)	PROP. ITEM	PROPOSED COVERAGE (S.F.)	PERCENTAGE (%)
HOTEL	171,165 S.F.	28.70%	EX. HOTEL	15,802 S.F.	2.65
RESTAURANT & OFFICE BUILDING			RESTAURANT, OFFICE & MEETING BUILDING	11,780	1.98
ASPHALT PAVEMENT			ASPHALT PAVEMENT	115,147 S.F.	19.31
CONCRETE WALKWAYS, CURBS, PADS, & WALLS			CONCRETE WALKWAYS, CURBS, PADS, & WALLS	12,852 S.F.	2.15
TOTAL	171,165 S.F.	28.70%	TOTAL	155,581 S.F.	26.09

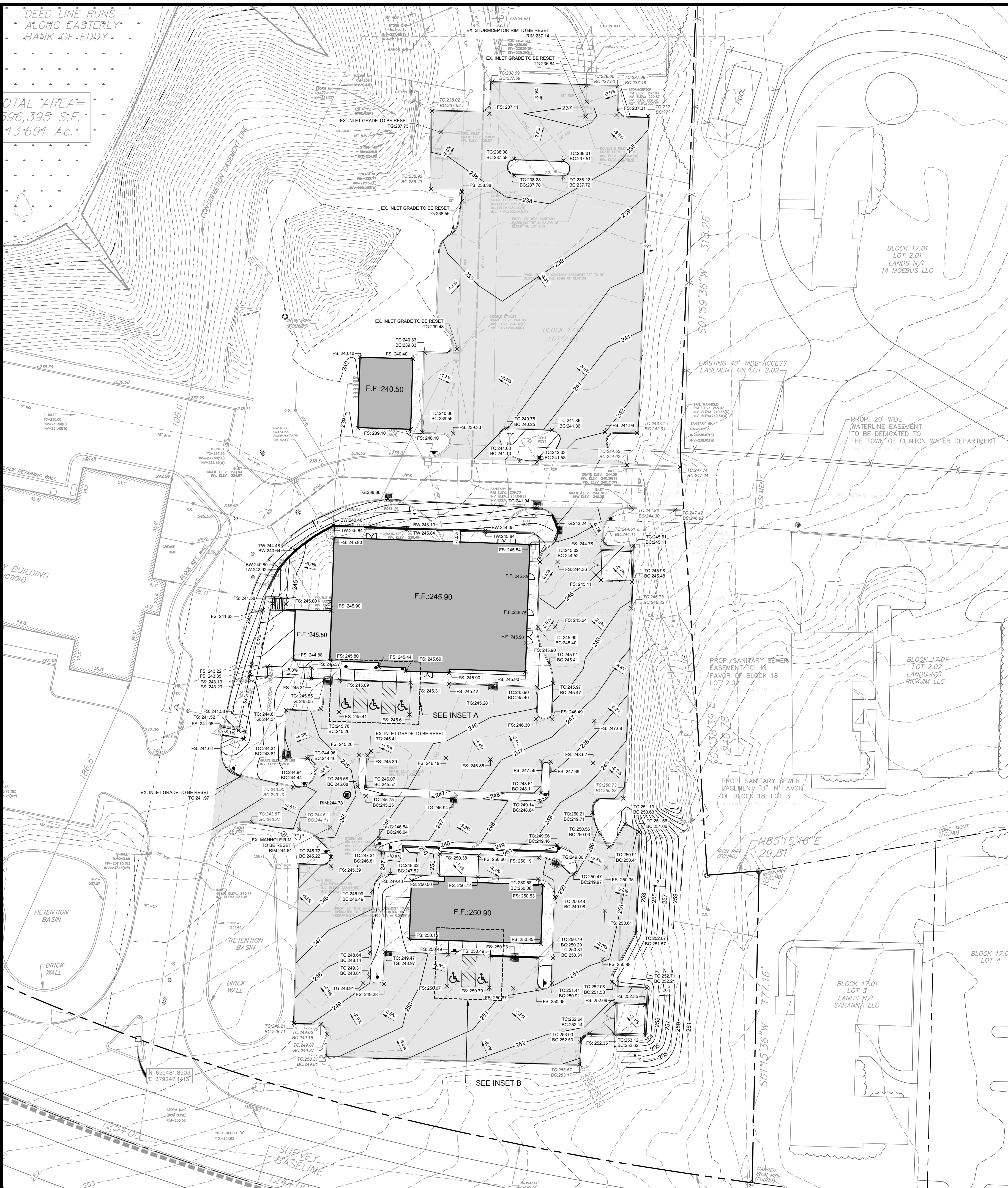
SIGNAGE SCHEDULE (PER RESOLUTION APPROVED ON MARCH 24, 2008)

ITEM	PREVIOUSLY PROPOSED & APPROVED
PROJECT SIGN AREA	78 S.F.
DIRECTORY SIGN	15 S.F.
DIRECTIONAL SIGN	10 S.F.
FACADE MOUNTED HOTEL SIGN	52.6 S.F.
FACADE MOUNTED RESTAURANT SIGN	12 S.F.

PARKING SCHEDULE CALCULATIONS (PER TOWN OF CLINTON REQUIREMENTS, § 88-62A)

LAND USE	REQUIRED	UNITS	REQUIRED SPACES
RESTAURANT, EATING AND DRINKING PLACE	1 SPACE PER 50 S.F. DEVOTED TO PATRON USE	3,225 S.F. (2,635 S.F. PATRON USE, PLUS 590 S.F. OUTDOOR SEATING) [1]	65 SPACES
BUSINESS PROFESSIONAL AND EXECUTIVE OFFICE	1 SPACE PER 200 S.F. OF OFFICE AREA	2,975 S.F.	15 SPACES
HOTEL	1 SPACE PER ROOM	20 ROOMS	20 SPACES
TOTAL NUMBER OF PARKING SPACES REQUIRED			100 SPACES
TOTAL NUMBER OF PARKING SPACES PROVIDED			157 SPACES
TOTAL NUMBER OF ACCESSIBLE SPACES REQUIRED			5 SPACES
TOTAL NUMBER OF ACCESSIBLE SPACES PROVIDED			5 TOTAL SPACES, 5 OF WHICH ARE VAN-ACCESSIBLE

NOTES:
 1. FOR THE PURPOSES OF PARKING CALCULATIONS, IT IS ASSUMED THAT HALF OF THE RESTAURANT WILL BE DEVOTED TO PATRONS.
 2. A DESIGN WAIVER IS REQUESTED FOR PROPOSED LOADING ZONES DIMENSIONS DUE TO NON-COMPLIANCE WITH TOWNS REQUIRED MINIMUM DIMENSIONS OF 80 FT. x 14 FT.



SITE PREPARATION

- PRIOR TO THE START OF CONSTRUCTION, ALL UTILITIES SHOULD BE IDENTIFIED AND SECURED. THE SURFACE COVER MATERIALS, INCLUDING VEGETATION AND TOPSOIL, SHALL BE REMOVED FROM WITHIN AND AT LEAST FIVE FEET BEYOND THE LIMITS OF THE PROPOSED BUILDING AND NEW PAVEMENT AREAS, AS WELL AS ANY OTHER AREA WHICH WILL REQUIRE FILL PLACEMENT. E&LP ANTICIPATES THAT THE EXISTING BUILDING WILL BE DEMOLISHED. DEMOLITION OF EXISTING STRUCTURES SHOULD INCLUDE FULL REMOVAL OF REMNANT UTILITIES TO PREVENT FUTURE OBSTRUCTIONS TO DEVELOPMENT. EXISTING REMNANT STRUCTURAL ELEMENTS, SUCH AS CONVENTIONAL CONCRETE FOUNDATIONS AND SLAB-ON-GRADE CONSTRUCTION, SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND SLAB AREAS AND EXCAVATED TO AT LEAST TWO FEET BELOW PAVEMENT SUBGRADE. THE RESULTING EXCAVATIONS SHOULD BE BACKFILLED WITH STRUCTURAL FILL IN ACCORDANCE WITH THE RECOMMENDATIONS HEREIN.
- PRIOR TO PLACING ANY FILL OR SUBBASE MATERIALS TO RAISE OR RESTORE GRADES TO THE DESIRED BUILDING PAD OR PAVEMENT SUBGRADE ELEVATIONS, THE EXISTING EXPOSED SOILS SHOULD BE COMPACTED TO A FIRM AND UNYIELDING SURFACE WITH SEVERAL PASSES IN TWO PERPENDICULAR DIRECTIONS OF MINIMUM 10-TON VIBRATORY, SMOOTH DRUM ROLLER DURING FAVORABLE MOISTURE CONDITIONS. THE ROLLER SHOULD BE OPERATED IN THE STATIC MODE OR A KNEADING "SHEEPSFOOT" ROLLER SHOULD BE USED WHERE FINE-GRAINED SOILS ARE ENCOUNTERED AT THE SUBGRADE ELEVATION. THE SURFACE THEN SHOULD BE PROOFROLLED WITH A LOADED TANDEM AXLE TRUCK IN THE PRESENCE OF E&LP TO HELP IDENTIFY SOFT OR LOOSE POCKETS WHICH MAY REQUIRE REMOVAL AND REPLACEMENT OR FURTHER INVESTIGATION. E&LP ANTICIPATES AT LEAST PARTIAL OVEREXCAVATION WILL BE REQUIRED IF THE SUBGRADE IS WETTED OR SUBJECT TO REPEATED CONSTRUCTION TRAFFIC, PARTICULARLY WHERE FINE-GRAINED SOILS ARE ENCOUNTERED AT THE SUBGRADE. ANY FILL OR BACKFILL SHOULD BE PLACED AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS HEREIN.
- EVERY EFFORT SHOULD BE MADE TO MINIMIZE DISTURBANCE OF THE ON-SITE SOILS BY CONSTRUCTION TRAFFIC AND SURFACE RUNOFF. THE ON-SITE SOILS CONTAIN HIGH AMOUNTS OF SILT AND WILL SOFTEN AND LOSE STABILITY WHEN WETTED OR SUBJECT TO REPEATED CONSTRUCTION TRAFFIC. THEREFORE, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXPOSED SUBGRADE SOILS DURING CONSTRUCTION.
- E&LP RECOMMENDS PROVIDING DEFINED HAUL ROADS AND SURGE STONE ENTRANCES TO REDUCE DISTURBANCE OF THE ON-SITE SOILS. ADDITIONAL REMOVAL AND REPLACEMENT OF THE SUBGRADE SOIL WILL LIKELY BE NECESSARY IF SCHEDULES DO NOT ALLOW SUFFICIENT TIME TO DISC AND DRY SITE SOILS, PARTICULARLY FOLLOWING WET WEATHER. WHILE NOT NEEDED BY DESIGN, ADDITIONAL STABILIZATION MEASURES SUCH AS THE USE OF GEOTEXTILES COULD BE NECESSARY IF CONSTRUCTION OCCURS FOLLOWING POOR WEATHER OR WITHOUT ADEQUATE SUBGRADE PROTECTION AND MAINTENANCE. THE SERVICES OF E&LP SHOULD BE RETAINED TO INSPECT SOIL CONDITIONS DURING CONSTRUCTION AND VERIFY THE QUALITY OF PREPARED FILL, FOUNDATION, FLOOR SLAB, AND PAVEMENT SUBGRADES FOR SUPPORT OF DESIGN LOADS.
- WHEN TEMPERATURES FALL BELOW FREEZING FOR PERIODS OF TIME, THE MOISTURE WITHIN THE SOIL MATRIX WILL FREEZE. FINE-GRAINED SOILS HAVE A HIGHER SUSCEPTIBILITY TO FROST THAN WELL-DRAINED GRANULAR SOILS AND COULD FREEZE AT FAST RATES. FROST-SUSCEPTIBLE SOILS WILL OFTEN BECOME UNSTABLE ONCE THEY THAW, EVEN IF THE MATERIAL IS PROPERLY PLACED AND COMPACTED. AS SUCH, SPECIAL CONSTRUCTION METHODS, ADDITIONAL HANDLING AND/OR CONSTRUCTION SEQUENCING SHOULD BE PLANNED WHEN WEATHER FORECASTS PREDICT PERIODS OF FREEZING AMBIENT AIR TEMPERATURES. FILL AND SUBBASE MATERIAL SHOULD NOT BE PLACED ON WET, SNOW, ICE, OR FROZEN SOIL. SUBGRADE MATERIALS THAT FREEZE WILL NEED TO BE REMOVED AND REPLACED WITH SUITABLE STRUCTURAL FILL MATERIAL PRIOR TO PLACEMENT OF SUBSEQUENT FILL LAYERS. SUBBASE MATERIAL AND/OR SURFICIAL COVER MATERIAL AS DETAILED THROUGHOUT THIS REPORT, IF SUCH MATERIALS ARE NOT SUITABLE FOR PLACEMENT AS STRUCTURAL FILL MATERIAL AND GENERALLY NEED TO BE EXPORTED FROM THE SITE, UNLESS CONSTRUCTION SCHEDULES ALLOW FOR STOCKPILING AND DRYING OF THESE MATERIALS DURING WARMER WEATHER, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR INCLUDING BUDGETARY RATES FOR EARTHWORK DURING PERIODS OF POTENTIAL FREEZING WEATHER AND FOR PROTECTION AGAINST FREEZING SUBGRADES.

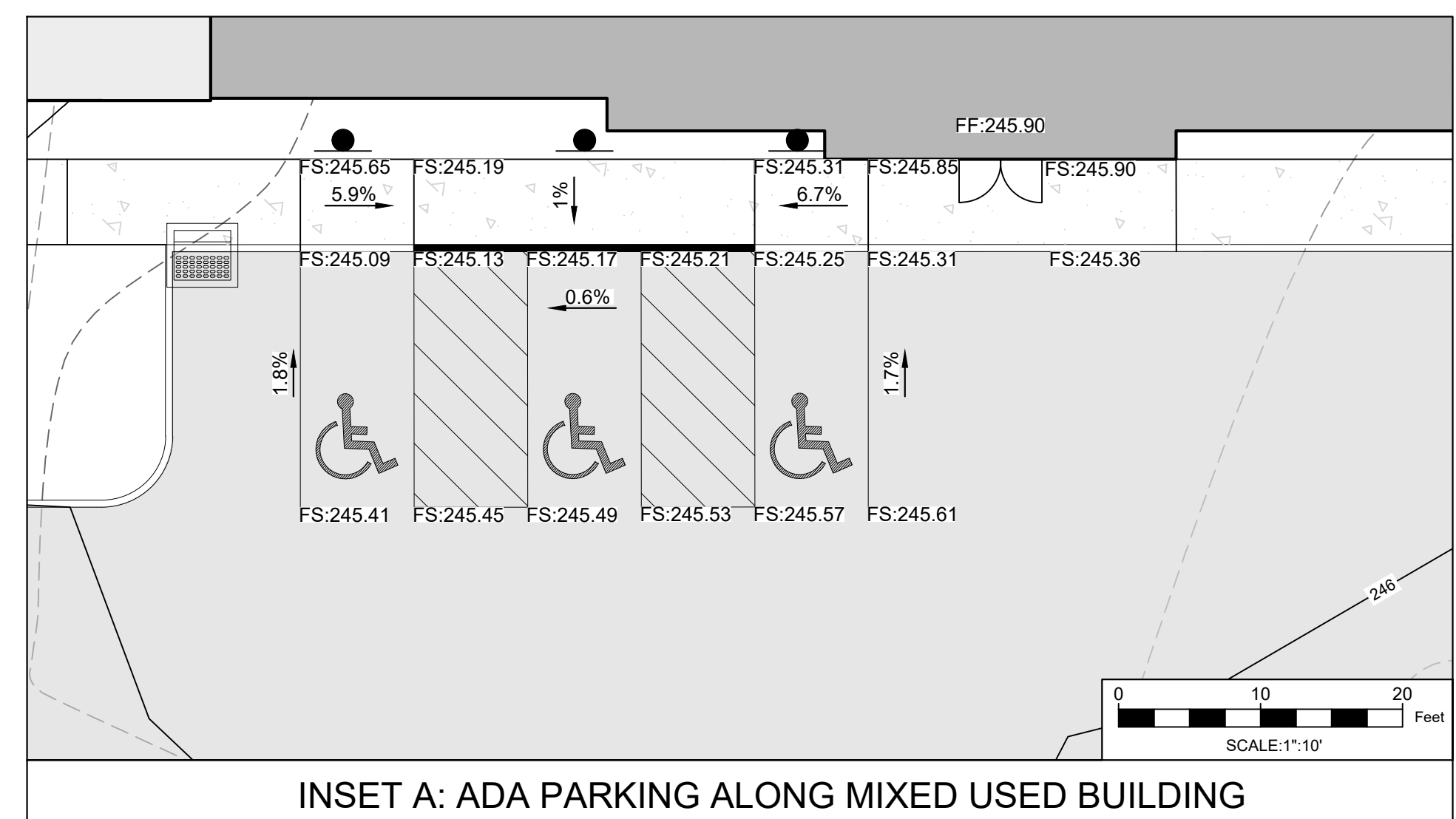
STRUCTURAL FILL MATERIALS AND COMPACTION TESTING

- SOILS PLACED AS STRUCTURAL FILL MATERIAL SHOULD CONSIST OF WELL GRADED SAND OR GRAVEL WITH A MAXIMUM PARTICLE SIZE OF THREE INCHES IN DIAMETER AND LESS THAN 15 PERCENT OF MATERIAL PASSING THE NUMBER 200 SIEVE. THESE MATERIALS SHOULD BE FREE OF OBJECTABLE DEBRIS, ORGANIC OR DELETERIOUS MATERIAL, ETC) AND WITHIN MOISTURE CONTENTS SUITABLE FOR COMPACTION. ALTERNATIVE SOIL TYPES WITH HIGHER PERCENTAGES OF SILT AND CLAY MAY BE CONSIDERED PROVIDED THAT THE CONTRACTOR IS ABLE TO ACHIEVE PROPER COMPACTION AND MAINTAIN SUITABLE SUBGRADE ONCE THE MATERIAL IS PLACED. FINE-GRAINED SOILS AND/OR GRANULAR SOILS WITH HIGHER PERCENTAGES OF SILT AND CLAY ARE EXTREMELY SUITABLE FOR REUSE AS STRUCTURAL FILL MATERIAL DURING IDEAL WEATHER CONDITIONS. MATERIALS WETTED BEYOND THE OPTIMUM MOISTURE CONTENT, CONTAIN OVERSIZED ROCK OR DEBRIS, AND/OR CONTAIN INCREASED AMOUNTS OF OBJECTABLE DEBRIS WILL NOT BE SUITABLE FOR REUSE AS STRUCTURAL FILL MATERIAL WITHOUT SPECIAL HANDLING. AS SUCH, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR IMPORTING STRUCTURAL FILL MATERIAL AND/OR PROCESSING ON-SITE SOILS AS REQUIRED SO THAT THESE MATERIALS ARE SUITABLE FOR STRUCTURAL FILL PLACEMENT.
- COBBLES/BOULDERS, ROCK FRAGMENTS, AND/OR OVERSIZED DEBRIS (EITHER ENCOUNTERED AT THE SITE OR IMPORTED) GREATER THAN THREE INCHES IN DIAMETER WILL NEED TO BE SEPARATED FROM ON-SITE SOILS TO BE PLACED AS STRUCTURAL FILL. APPROVED MATERIAL BETWEEN THREE TO 12 INCHES IN DIAMETER MAY BE CRUSHED OR INDIVIDUALLY PLACED IN FILL LAYERS DEEPER THAN TWO FEET BELOW PROPOSED SUBGRADE LEVELS. CARE MUST BE TAKEN TO INDIVIDUALLY SEAT ANY LARGE PARTICLES TO MINIMIZE THE RISK OF VOID FORMATION. THE LARGER MATERIAL SHOULD NOT BE PLACED NEAR AREAS OF THE PROPOSED UTILITY OR PLANNED EXCAVATION. IMPORTED ROCK FRAGMENTS AND BOULDERS LARGER THAN APPROXIMATELY 12 INCHES ARE NOT EXPECTED TO BE ADEQUATE FOR USE AS FILL OR BACKFILL AND SHOULD BE REMOVED FROM THE SITE OR CRUSHED TO AN ADEQUATE SIZE.
- THE ON-SITE SOILS ARE CONSIDERED VERY MOISTURE SUSCEPTIBLE. PORTIONS OF THESE MATERIALS ARE PRELIMINARILY EXPECTED TO BE SUITABLE FOR REUSE AS STRUCTURAL FILL MATERIAL, BUT SPECIAL HANDLING TO REMOVE OBJECTABLE DEBRIS, DISINTEGRATING AND/OR INCREASED DRYING TIME FOR SOILS THAT ARE EXPOSED TO MOISTURE ARE ANTICIPATED. IN ADDITION, MATERIAL REPEATEDLY EXPOSED TO CONSTRUCTION TRAFFIC AND/OR WETTED BEYOND THE OPTIMUM MOISTURE CONTENT MAY NEED TO BE REPLACED WITH IMPORTED STRUCTURAL FILL. REUSE OF THESE MATERIALS WILL BE CONTINGENT UPON FURTHER EVALUATION DURING CONSTRUCTION.
- STRUCTURAL FILL AND BACKFILL SHOULD BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS AND COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY WITHIN A TARGETED TWO PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR). FILL MATERIAL COMPACTED WITH RELATIVELY LIGHT HANDLED EQUIPMENT MAY NEED TO BE PLACED IN THINNER LIFTS. VARIATIONS IN MOISTURE CONTENT MAY BE ACCEPTABLE SUBJECT TO E&LP'S ON-SITE GEOTECHNICAL ENGINEER'S APPROVAL IF THE CONTRACTOR IS ABLE TO ACHIEVE THE NECESSARY COMPACTION. E&LP RECOMMENDS USING A SMOOTH DRUM ROLLER OR SHEEPSFOOT ROLLER TO COMPACT SUBGRADE SOILS BENEATH LARGER AREAS SUCH AS PAVEMENTS OR SLABS. HAND OPERATED VIBRATORY JUMPS AND PLATE COMPACTORS SHOULD BE USED IN CONFINED EXCAVATIONS FOR FOUNDATIONS OR UTILITIES. FILL MATERIAL COMPACTED WITH RELATIVELY LIGHT WEIGHT EQUIPMENT OR IN THE STATIC MODE MAY REQUIRE ADDITIONAL PASSES AND/OR THE MATERIAL MAY NEED TO BE PLACED IN THINNER, LOOSE LIFTS.
- BEFORE FILLING OPERATIONS BEGIN, REPRESENTATIVE SAMPLES OF EACH PROPOSED FILL MATERIAL (ON-SITE AND IMPORTED) SHOULD BE COLLECTED. THE SAMPLES SHOULD BE TESTED TO DETERMINE THE MAXIMUM DRY DENSITY, OPTIMUM MOISTURE CONTENT, NATURAL MOISTURE CONTENT, GRADATION, AND PLASTICITY OF THE SOIL. THESE TESTS ARE NEEDED FOR QUALITY CONTROL DURING COMPACTION AND ALSO TO DETERMINE IF THE FILL MATERIAL IS ACCEPTABLE. THE PLACEMENT OF ALL FILL AND BACKFILL SHOULD BE MONITORED BY E&LP'S GEOTECHNICAL ENGINEER OR TECHNICIAN TO ENSURE THAT THE SPECIFIED MATERIAL AND LIFT THICKNESSES ARE PROPERLY INSTALLED. A SUFFICIENT NUMBER OF IN-PLACE DENSITY TESTS SHOULD BE PERFORMED DURING FILL PLACEMENT TO ENSURE THAT THE SPECIFIED COMPACTION IS ACHIEVED THROUGHOUT THE HEIGHT OF THE FILL OR BACKFILL.
- CONTRACTOR MUST NOTIFY ENGINEER IF PROOFROLLING, WHICH MUST BE OBSERVED BY A COMPETENT PERSON.
- CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PIPE AND BASIN COVER PRIOR TO PLACING CONSTRUCTION EQUIPMENT OVER.

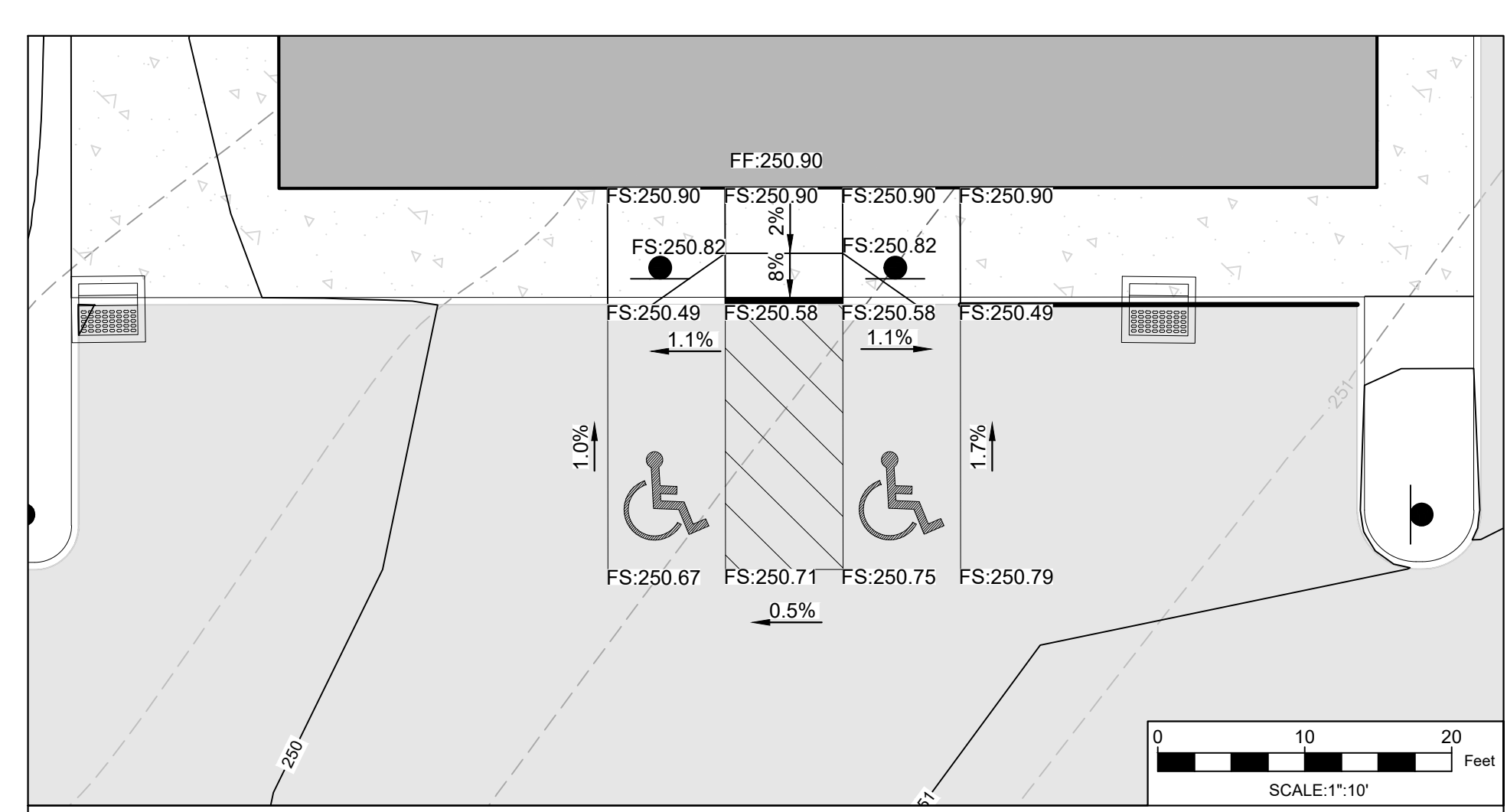
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INSET A: ADA PARKING ALONG MIXED USED BUILDING



INSET B: ADA PARKING ALONG RESTAURANT/COFFEE SHOP BUILDING

E&LP

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WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

6/11/2021
 DATE

PROJECT:
ANSUYA ENTERPRISE OF CLINTON, LLC & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:
GRADING PLAN

JOB NO.: 0120281	DRAWING NO.:
SCALE: 1"=30'	
DESIGNED: EJ	4
CHECKED: KFO	
FILENAME: 04-G&D.DWG	
DATE: 12/11/2020	

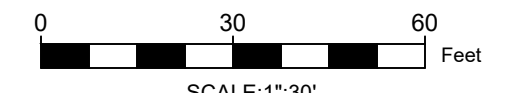


SITE PREPARATION

- PRIOR TO THE START OF CONSTRUCTION, ALL UTILITIES SHOULD BE IDENTIFIED AND SECURED. THE SURFACE COVER MATERIALS, INCLUDING VEGETATION AND TOPSOIL, SHALL BE REMOVED FROM WITHIN AND AT LEAST FIVE FEET BEYOND THE LIMITS OF THE PROPOSED BUILDING AND NEW PAVEMENT AREAS, AS WELL AS ANY OTHER AREA WHICH WILL REQUIRE FILL PLACEMENT. E&LP ANTICIPATES THAT THE EXISTING BUILDING WILL BE DEMOLISHED. DEMOLITION OF EXISTING STRUCTURES SHOULD INCLUDE FULL REMOVAL OF REMNANT UTILITIES TO PREVENT FUTURE OBSTRUCTIONS TO DEVELOPMENT. EXISTING REMNANT STRUCTURAL ELEMENTS, SUCH AS CONVENTIONAL CONCRETE FOUNDATIONS AND SLAB-ON-GRADE CONSTRUCTION, SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND SLAB AREAS AND EXCAVATED TO AT LEAST TWO FEET BELOW PAVEMENT SUBGRADE. THE RESULTING EXCAVATIONS SHOULD BE BACKFILLED WITH STRUCTURAL FILL IN ACCORDANCE WITH THE RECOMMENDATIONS HEREIN.
- PRIOR TO PLACING ANY FILL OR SUBBASE MATERIALS TO RAISE OR RESTORE GRADES TO THE DESIRED BUILDING PAD OR PAVEMENT SUBGRADE ELEVATIONS, THE EXISTING EXPOSED SOILS SHOULD BE COMPACTED TO A FIRM AND UNYIELDING SURFACE WITH SEVERAL PASSES IN TWO PERPENDICULAR DIRECTIONS OF MINIMUM 10-TON VIBRATORY, SMOOTH DRUM ROLLER DURING FAVORABLE MOISTURE CONDITIONS. THE ROLLER SHOULD BE OPERATED IN THE STATIC MODE OR A KNEADING "SHEEPSFOOT" ROLLER SHOULD BE USED WHERE FINE-GRAINED SOILS ARE ENCOUNTERED AT THE SUBGRADE ELEVATION. THE SURFACE THEN SHOULD BE PROOFROLLED WITH A LOADED TANDEM AXLE TRUCK IN THE PRESENCE OF E&LP TO HELP IDENTIFY SOFT OR LOOSE POCKETS WHICH MAY REQUIRE REMOVAL AND REPLACEMENT OR FURTHER INVESTIGATION. E&LP ANTICIPATES AT LEAST PARTIAL OVEREXCAVATION WILL BE REQUIRED IF THE SUBGRADE IS WETTED OR SUBJECTED TO REPEATED CONSTRUCTION TRAFFIC, PARTICULARLY WHERE FINE-GRAINED SOILS ARE ENCOUNTERED AT THE SUBGRADE. ANY FILL OR BACKFILL SHOULD BE PLACED AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS HEREIN.
- EVERY EFFORT SHOULD BE MADE TO MINIMIZE DISTURBANCE OF THE ON-SITE SOILS BY CONSTRUCTION TRAFFIC AND SURFACE RUNOFF. THE ON-SITE SOILS CONTAIN HIGH AMOUNTS OF SILT AND WILL SOFTEN AND LOSE STABILITY WHEN WETTED OR SUBJECTED TO REPEATED CONSTRUCTION TRAFFIC. THEREFORE, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXPOSED SUBGRADE SOILS DURING CONSTRUCTION.
- E&LP RECOMMENDS PROVIDING DEFINED HAUL ROADS AND SURGE STONE ENTRANCES TO REDUCE DISTURBANCE OF THE ON-SITE SOILS. ADDITIONAL REMOVAL AND REPLACEMENT OF THE SUBGRADE SOIL WILL LIKELY BE NECESSARY IF SCHEDULES DO NOT ALLOW SUFFICIENT TIME TO DISC AND DRY SITE SOILS, PARTICULARLY FOLLOWING WET WEATHER. WHILE NOT NEEDED BY DESIGN, ADDITIONAL STABILIZATION MEASURES SUCH AS THE USE OF GEOTEXTILES COULD BE NECESSARY IF CONSTRUCTION OCCURS FOLLOWING POOR WEATHER OR WITHOUT ADEQUATE SUBGRADE PROTECTION AND MAINTENANCE. THE SERVICES OF E&LP SHOULD BE RETAINED TO INSPECT SOIL CONDITIONS DURING CONSTRUCTION AND VERIFY THE SUITABILITY OF PREPARED FOUNDATION, FLOOR SLAB, AND PAVEMENT SUBGRADES FOR SUPPORT OF DESIGN LOADS.
- WHEN TEMPERATURES FALL BELOW FREEZING FOR PERIODS OF TIME, THE MOISTURE WITHIN THE SOIL MATRIX WILL FREEZE. FINE GRAINED SOILS HAVE A HIGHER SUSCEPTIBILITY TO FROST THAN WELL DRAINED GRANULAR SOILS AND COULD FREEZE AT FAST RATES. FROST SUSCEPTIBLE SOILS WILL OFTEN BECOME UNSTABLE ONCE THEY THAW, EVEN IF THE MATERIAL IS PROPERLY PLACED AND COMPACTED. AS SUCH, SPECIAL CONSTRUCTION METHODS, ADDITIONAL HANDLING AND/OR CONSTRUCTION SEQUENCING SHOULD BE PLANNED WHEN WEATHER FORECASTS PREDICT PERIODS OF FREEZING AMBIENT AIR TEMPERATURES. FILL AND SUBBASE MATERIAL SHOULD NOT BE PLACED ON WATER, SNOW, ICE, OR FROZEN SOIL. SUBGRADE MATERIALS THAT FREEZE WILL NEED TO BE REMOVED AND REPLACED WITH SUITABLE STRUCTURAL FILL MATERIAL PRIOR TO PLACEMENT OF SUBSEQUENT FILL LAYERS. SUBBASE MATERIAL AND/OR SURFICIAL COVER MATERIAL AS DETAILED THROUGHOUT THIS REPORT. FROZEN SOILS ARE NOT SUITABLE FOR PLACEMENT AS STRUCTURAL FILL MATERIAL AND GENERALLY NEED TO BE EXPORTED FROM THE SITE, UNLESS CONSTRUCTION SCHEDULES ALLOW FOR STOCKPILING AND DRYING OF THESE MATERIALS DURING WARMER WEATHER. THE CONTRACTOR SHOULD BE RESPONSIBLE FOR INCLUDING BUDGETARY RATES FOR STOCKPILING AND DRYING OF THESE MATERIALS DURING WARMER WEATHER. THE CONTRACTOR SHOULD BE RESPONSIBLE FOR INCLUDING FREEZING WEATHER AND FOR PROTECTION AGAINST FREEZING SUBGRADES.

STRUCTURAL FILL MATERIALS AND COMPACTION TESTING

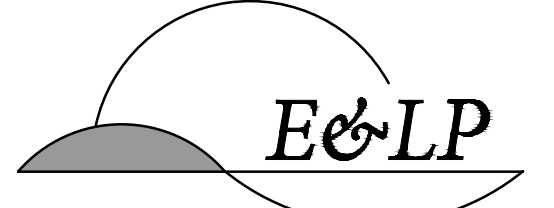
- SOILS PLACED AS STRUCTURAL FILL MATERIAL SHOULD CONSIST OF WELL GRADED SAND OR GRAVEL WITH A MAXIMUM PARTICLE SIZE OF THREE INCHES IN DIAMETER AND LESS THAN 15 PERCENT OF MATERIAL PASSING THE NUMBER 200 SIEVE. THESE MATERIALS SHOULD BE FREE OF OBJECTIONABLE DEBRIS (GLASS, ORGANIC AND/OR DELETERIOUS MATERIAL, ETC) AND WITHIN MOISTURE CONTENTS SUITABLE FOR COMPACTION. ALTERNATIVE SOIL TYPES WITH HIGHER PERCENTAGES OF SILT AND CLAY MAY BE CONSIDERED PROVIDED THAT THE CONTRACTOR IS ABLE TO ACHIEVE PROPER COMPACTION AND MAINTAIN SUITABLE SUBGRADE ONCE THE MATERIAL IS PLACED. FINE-GRAINED SOILS AND/OR GRANULAR SOILS WITH HIGHER PERCENTAGES OF SILT AND CLAY ARE EXTREMELY MOISTURE SENSITIVE AND ONLY BE SUITABLE FOR REUSE AS STRUCTURAL FILL MATERIAL DURING IDEAL WEATHER CONDITIONS. MATERIALS WETTED BEYOND THE OPTIMUM MOISTURE CONTENT, CONTAIN OVERSIZED ROCK OR DEBRIS; AND/OR CONTAIN INCREASED AMOUNTS OF OBJECTIONABLE DEBRIS WILL NOT BE SUITABLE FOR REUSE AS STRUCTURAL FILL MATERIAL WITHOUT SPECIAL HANDLING. AS SUCH, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR IMPORTING STRUCTURAL FILL MATERIAL AND/OR PROCESSING ON-SITE SOILS AS REQUIRED SO THAT THESE MATERIALS ARE SUITABLE FOR STRUCTURAL FILL PLACEMENT.
- COBBLES/BOULDERS, ROCK FRAGMENTS, AND/OR OVERSIZED DEBRIS (EITHER ENCOUNTERED AT THE SITE OR IMPORTED) GREATER THAN THREE INCHES IN DIAMETER WILL NEED TO BE SEPARATED FROM ON-SITE SOILS TO BE PLACED AS STRUCTURAL FILL. APPROVED MATERIAL BETWEEN THREE TO 12 INCHES IN DIAMETER MAY BE CRUSHED OR INDIVIDUALLY PLACED IN FILL LAYERS DEEPER THAN TWO FEET BELOW PROPOSED SUBGRADE LEVELS. CARE MUST BE TAKEN TO INDIVIDUALLY SEAT ANY LARGE PARTICLES TO MINIMIZE THE RISK OF VOID FORMATION. THE LARGER MATERIAL SHOULD NOT BE PLACED NEAR AREAS OF THE PROPOSED UTILITY OR PLANNED EXCAVATION. IMPORTED ROCK FRAGMENTS AND BOULDERS LARGER THAN APPROXIMATELY 12 INCHES ARE NOT EXPECTED TO BE ADEQUATE FOR USE AS FILL OR BACKFILL AND SHOULD BE REMOVED FROM THE SITE OR CRUSHED TO AN ADEQUATE SIZE.
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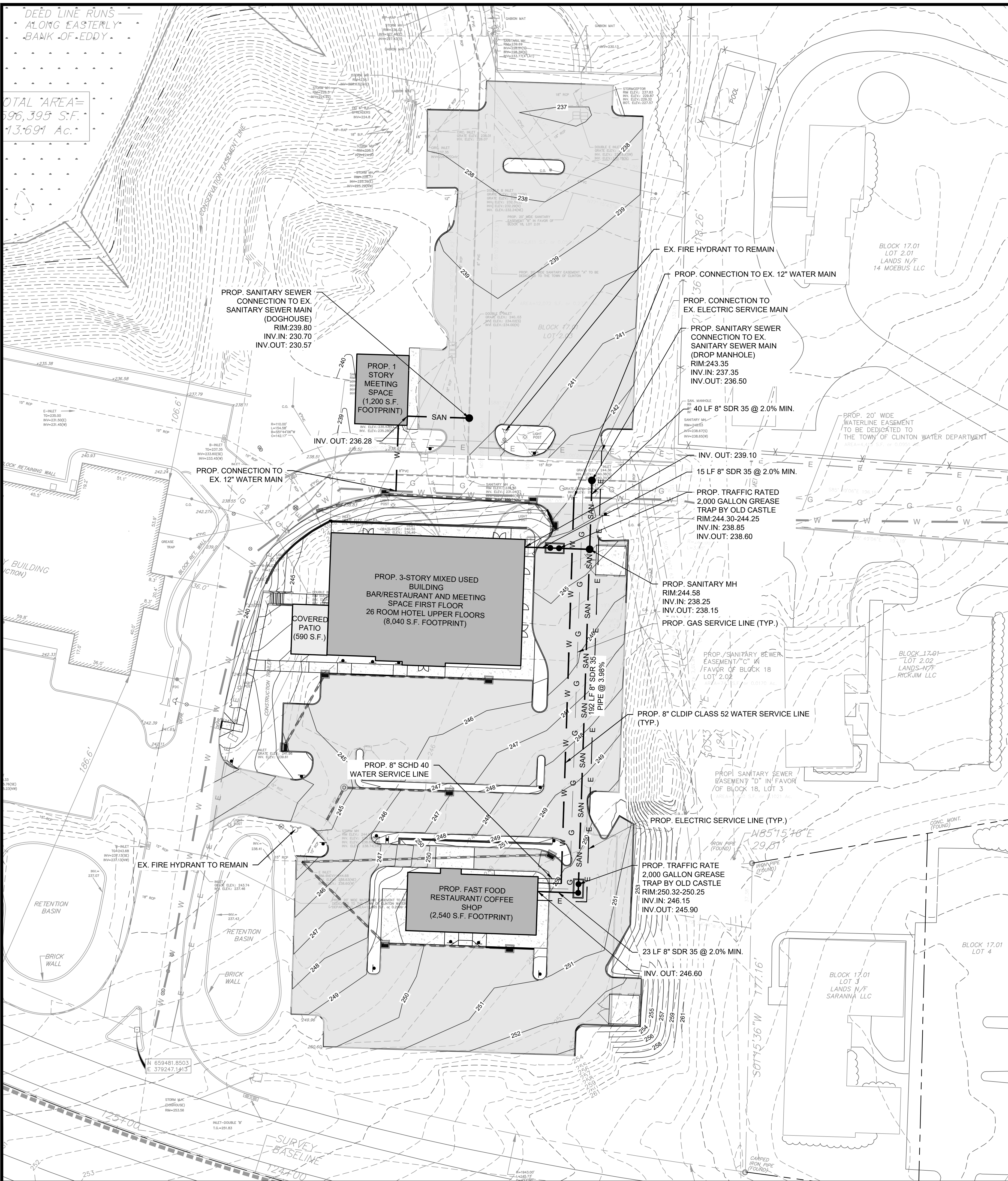
NO.	REVISION	BY	DATE
2	REVISED PER DRAINAGE CHANGES	EAJ	6/11/2021
1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21

6/11/2021 DATE
 WJH
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2, 04, & 6
 TOWN OF CLINTON
 HUNTERDON COUNTY NEW JERSEY

TITLE:
DRAINAGE PLAN

JOB NO.:	0120281	DRAWING NO.:	5
SCALE:	1"=30'		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	04-G&D.DWG		
DATE:	12/11/2020		

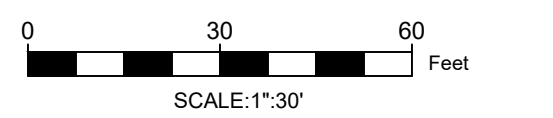
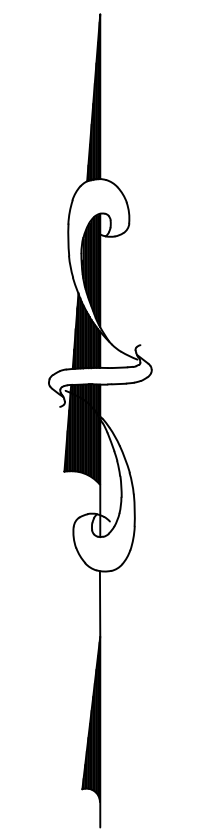


PROPOSED SANITARY SEWER FLOW CALCULATIONS (PER N.J.A.C. 7-14A-23.3)

TYPE OF ESTABLISHMENT	MEASUREMENT UNIT	TOTAL NUMBER	DAILY SANITARY SEWER DEMAND (GPD/UNIT)	TOTAL (GPD)
FAST FOOD RESTAURANT	SEATS	50	15	750
BAR/COCKTAIL LOUNGERS	SEATS	200	20	4000
HOTEL	BEDROOM	20	75	1500
ASSEMBLY HALLS (MEETING ROOMS)	SEATS	150	3	450
TOTAL DAILY AVERAGE FLOW OF 3 STORY MIXED USED BLDG (GPD)				5,950
TOTAL DAILY AVERAGE FLOW OF FAST FOOD RESTAURANT (GPD)				750

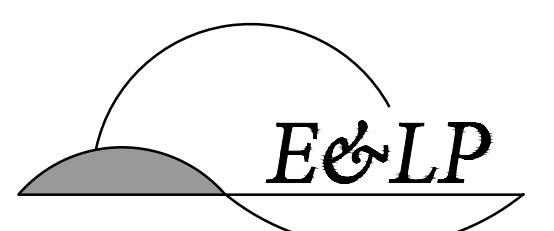
PROPOSED WATER DEMAND CALCULATIONS (PER N.J.A.C. 7-10-12.6B)

TYPE OF ESTABLISHMENT	MEASUREMENT UNIT	TOTAL NUMBER	DAILY WATER DEMAND (GPD/UNIT)	TOTAL (GPD)
RESTAURANT (SANITARY & KITCHEN DEMAND) (FAST FOOD)	PEOPLE	50	15	750
BAR/COCKTAIL LOUNGE (ASSUMED EQUAL TO RESTAURANT)	PEOPLE	200	20	4,000
HOTEL	BEDROOM	20	75	1500
MEETING ROOM (ASSUMED EQUAL TO OFFICE BUILDING)	SEATS	150	3	450
TOTAL DAILY AVERAGE FLOW OF 3 STORY MIXED USE BLDG (GPD)				5,950
TOTAL DAILY AVERAGE FLOW OF FAST FOOD RESTAURANT (GPD)				750



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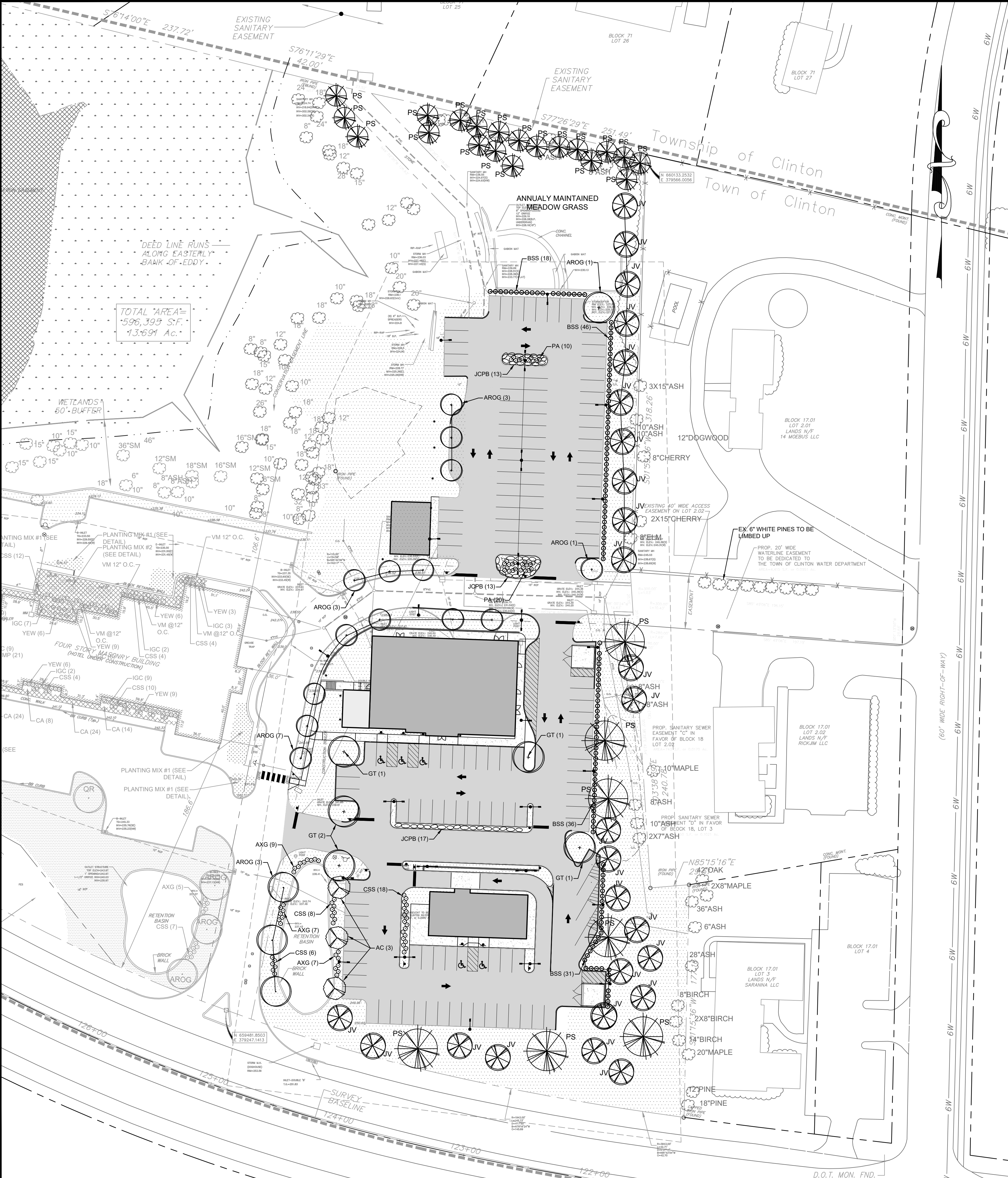
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BLOCK 17 LOT 2 &
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TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

UTILITY PLAN

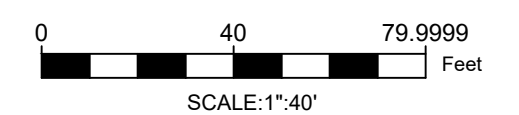
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SCALE:	1"=30'		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	05-UTILITIES.DWG		
DATE:	12/11/2020		



TOTAL AREA= 596,399 S.F. = 13.691 Ac.

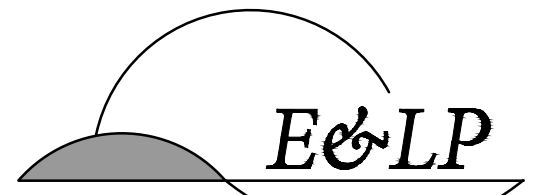
LEGEND

- PROPERTY LINE
- PHASING BOUNDARIES
- x- EXISTING FENCE
- 100 YEAR FLOOD LIMIT
- EXISTING WATER LINE
- EXISTING GUARD RAIL
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- SOD
- TURF
- EXISTING TREE
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUB



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PROJECT: ANSUYA ENTERPRISE OF CLINTON, LLC & ANSUYA RIVERBEND, LLC BLOCK 17 LOT 2 & BLOCK 18 LOTS 2.03, 2.04, & 6 TOWN OF CLINTON

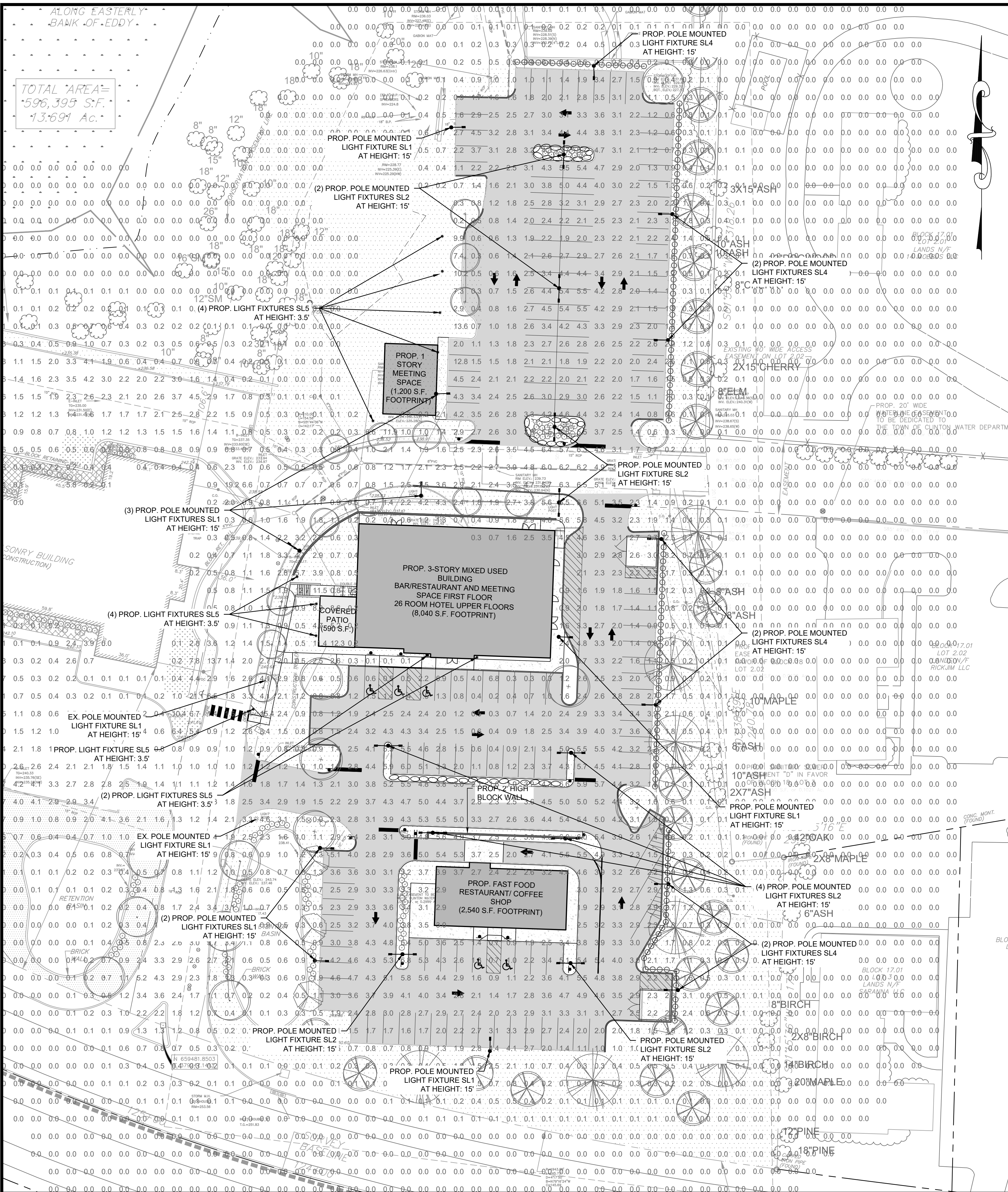
HUNTERDON COUNTY NEW JERSEY

TITLE: LANDSCAPE PLAN

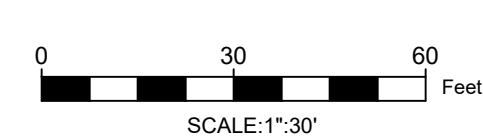
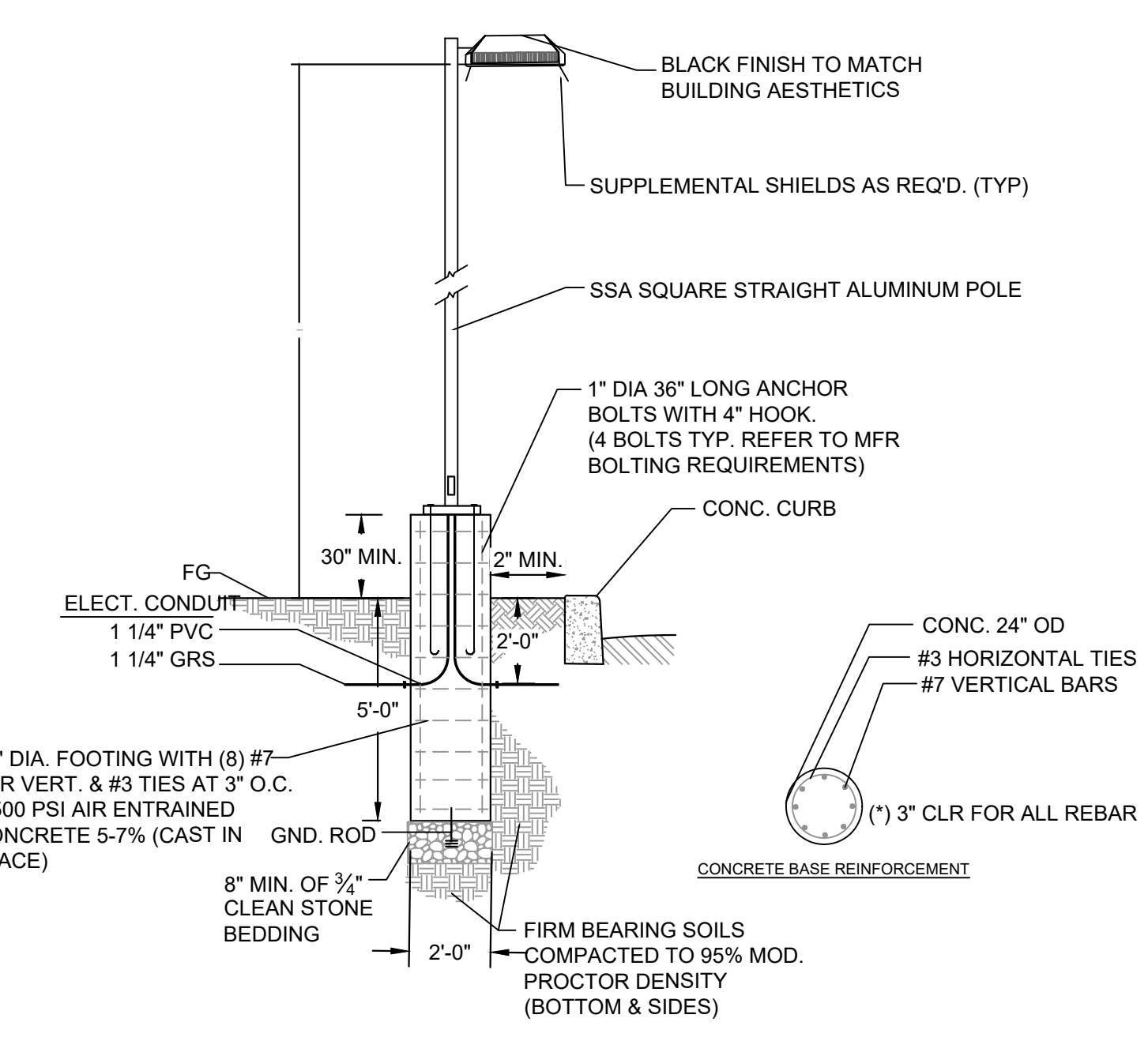
PLANT SCHEDULE (FOR AREA OF DEVELOPMENT ONLY)

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	NOTES
CANOPY TREES						
AROG	18	OCTOBER GLORY RED MAPLES	ACER RUBRUM 'OCTOBER GLORY'	2-2.5" CAL.	25'	B&B
GT	5	SHADEMASTER HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'SHADEMASTER'	2-2.5" CAL.	30'	B&B
EVERGREEN TREES						
JV	22	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	6-7" HT.	30'	B&B
PS	27	WHITE PINE	PINUS STROBUS	6-8" HT.	30'	B&B
ORNAMENTAL TREES						
AC	3	SHADBLOW SERVICEBERRY	AMERLANCHIER CANADENSIS	6-8" HT.	30'	B&B
SHRUBS						
BSS	113	DWARF ENGLISH BOXWOOD	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	15-18"	4' O.C.	B&B
CSS	14	REDTWIG DOGWOOD SHRUB	CORNUS SERICEA	18-24"	PER PLAN	B&B
AXG	23	GLOSSY ABELIA	ABELIA X GRANDIFLORA	18-24"	PER PLAN	B&B
PERENNIALS						
PA	30	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	PLUG	12" O.C.	NORTH CREEK NURSERIES

JOB NO.: 0120281 DRAWING NO.: 7
 SCALE: 1" = 40'
 DESIGNED: EJ
 CHECKED: KFO
 FILENAME: 06-L&L.DWG
 DATE: 12/11/2020

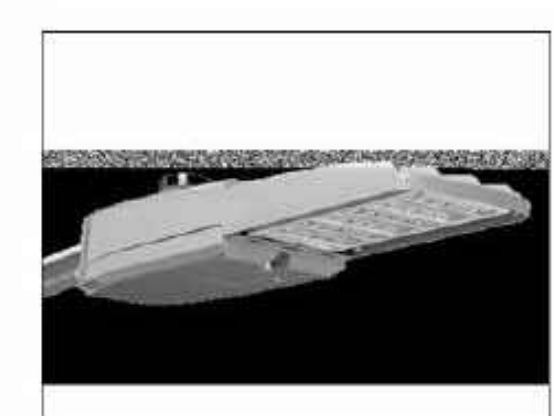


1 TYPICAL LIGHT FIXTURE/POLE BASE DETAIL



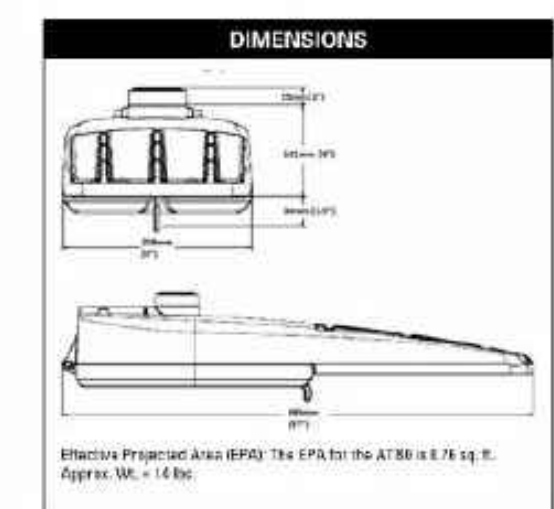
NOTE:
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Autobahn Series ATB0
 Roadway Lighting



Features:
OPTICAL
 Same Light Performance as comparable to 70-200W HPS roadway luminaires. White Light. Correlated color temperature = 4000K, 70 CRI minimum, 8000K, 70 CRI minimum or optional 5000K, 70 CRI minimum. Unique IP68 rated LED light engines provided 6% spill light and resist backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.
ELECTRICAL
 Expected Life: LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at 25°C ambient. Lower Energy: Saves an expected 40-60% over comparable HID luminaires. Robust Surge Protection: Three different surge protection options provide a minimum of IEEE/ANSI C62.41 Category C (10kV/5kA) protection. 20kV/10kA protection is also available.
MECHANICAL
 Includes standard AEL linerless-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easy leveling at installation. Rugged die-cast aluminum housing and clear acrylate powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a written corrosion rating of 8 per ASTM D1654 after over 1000 hours exposure to salt fog chamber (accelerated per ASTM B117). Optional Enhanced Corrosion Resistant finish (CR) increases the salt spray exposure over 1000 hours. Mount arm height is adjustable for arms from 1 1/4" to 2" (1 5/8" to 2 3/8" O.D.) diameter. Provides a 30 vibration rating per ANSI C136.31. Wildlife shield is cast into the housing (not a separate piece).
CONTROLS
 NEMA 3 pin photoelectric photocell is standard, with the Acuity designed ANSI standard 5 pin and 7 pin photocells optionally available. Premium solid state locking style photocell - PCS5 (10 year rated life). Extreme long life solid state locking style photocell - PCL2 (50 year rated life). Multi-level dimming available to provide scheduled dimming as specified by the customer. Optional onboard Adjustable Duct mode allows the light output and input voltage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.
STANDARDS
 DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org for centers which versions are qualified. Rated for -40°C to 40°C ambient. CSA Certified to U.S. and Canadian standards. Complies with ANSI C136.2, C136.10, C136.14, C136.31, C136.15, C136.37.

Applications:
 Roadways
 Off ramps
 Residential streets
 Parking lots



E&LP

140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE
2	REVISED PER DRAINAGE CHANGES	EAJ	6/11/2021
1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21

6/11/2021 DATE
 WJH
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

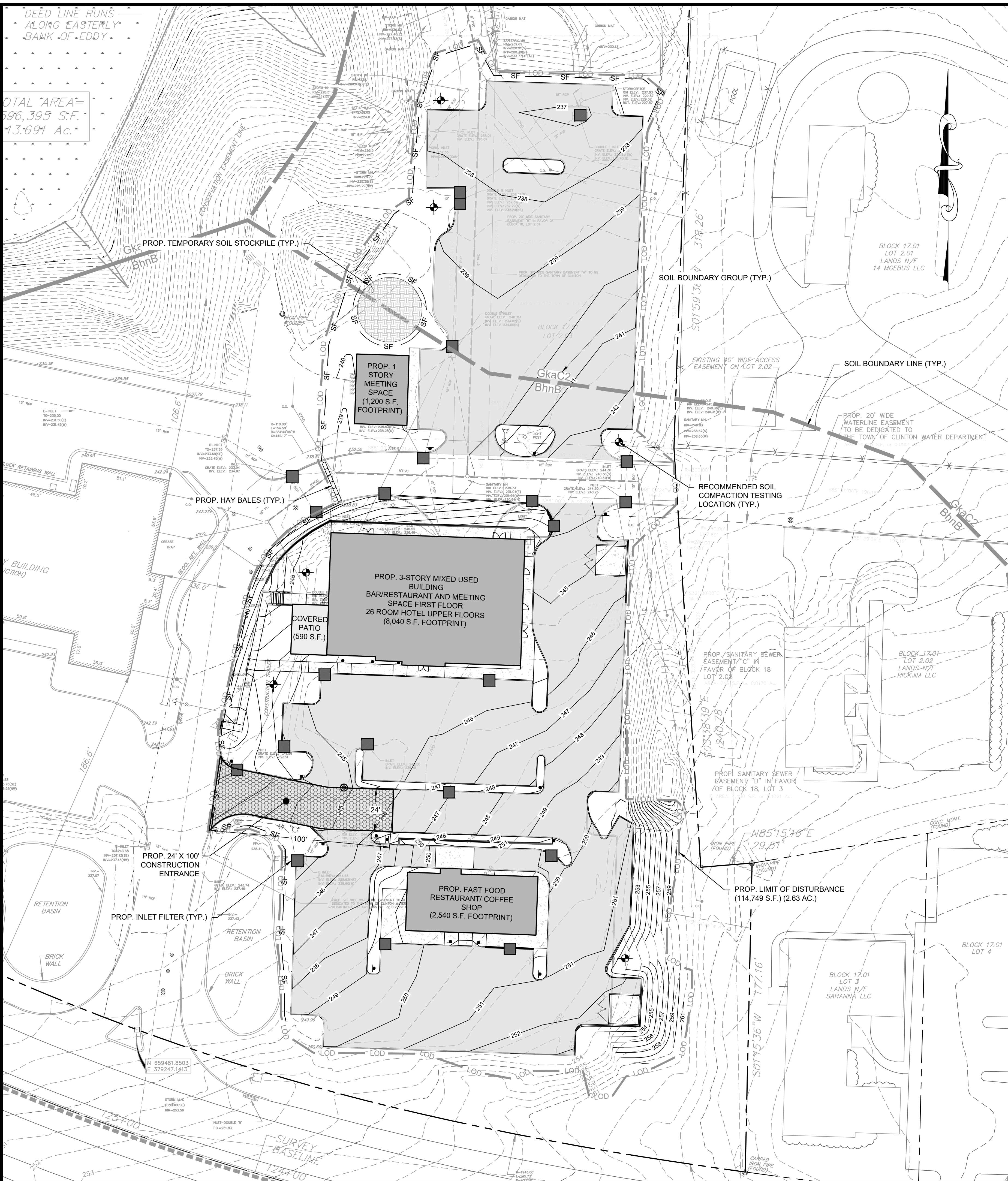
PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

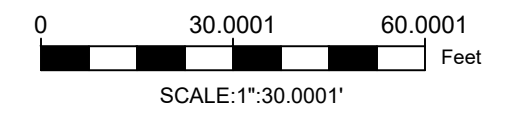
TITLE:
LIGHTING PLAN

JOB NO.:	0120281	DRAWING NO.:	8
SCALE:	1"=30'	DESIGNED:	EJ
CHECKED:	KFO	FILENAME:	06-L&L.DWG
DATE:	12/11/2020		

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LLF	WATTAGE	EFFICIENCY
!	SL1	12	American Electric Lighting	ATB0 20RLE1015 XXXXX RA 4K50K	ATB0 SERIES LED 1000MA TYPE 4 4000K/5000K CCT	6650	0.9	72	100%
!	SL2	10	American Electric Lighting	ATB0 20RLE1010 XXXXX RA 4K50K	ATB0 SERIES LED 1000MA TYPE 5 4000K/5000K CCT	5970	0.9	142	100%
!	SL3	11	American Electric Lighting	ATB0 20RLE1010 XXXXX RA 4K50K	ATB0 SERIES LED 1000MA TYPE 4 4000K/5000K CCT	6650	0.9	72	100%
!	SL4	7	American Electric Lighting	ATB0 10RLE1015 XXXXX RA 4K50K	ATB0 SERIES LED 1500MA TYPE 4 4000K/5000K CCT	3663	0.9	54	100%
!	SL5	22	Lithonia Lighting	K848 LED 16C 700 40K SYMM/MT	K848 WITH 4 LIGHT BOARDS (ELECTRIC 700MA DRIVER, 4000K COLOR TEMP. AND SYMMETRIC OPTIC)	2047	0.9	39	100%



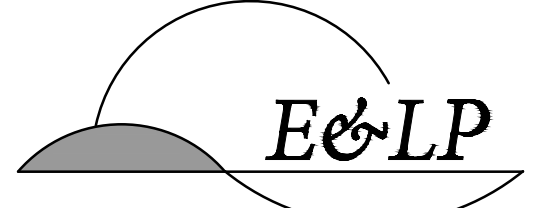
- LEGEND:
- LOD - LIMIT OF DISTURBANCE
 - SF - SILT FENCE
 - SSF - SUPER SILT FENCE
 - SOIL STOCKPILE
 - STABILIZED CONSTRUCTION ENTRANCE



NOTE:

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6/11/2021 DATE
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

JOB NO.:	0120281	DRAWING NO.:	
SCALE:	1"=30'	9	
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	07-SESC.DWG		
DATE:	12/11/2020		

HUNTERDON COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

- 1. THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT REQUIRES AN ADVANCED 48-HOUR WRITTEN NOTIFICATION PRIOR TO THE START OF ANY LAND DISTURBANCE...
2. LAND DISTURBANCE AND CONSTRUCTION WORK START INCLUDES ANY DEMOLITION OR CLEARING THAT TAKES PLACE ON THE PROJECT SITE...
3. THE PROJECT APPLICANT AND CONTRACTOR ARE TO BE AWARE THAT ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE SOIL CONSERVATION DISTRICT OR MUNICIPAL ENGINEER IF FIELD CONDITIONS OR UNFORESEEN SITUATIONS WARRANT THEM...
4. THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT ENCOURAGES THE INSTALLATION AND STABILIZATION OF PERMANENT DETENTION OR RETENTION FACILITIES FROM THE START OF THE PROJECT...
5. THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT DOES NOT SUPPORT NOR ENDORSE MASS EXCAVATION...
6. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO BE KEPT ON THE PROJECT SITE DURING CONSTRUCTION AND AVAILABLE FOR REVIEW BY THE CONTRACTOR AND SOIL CONSERVATION DISTRICT INSPECTORS...
7. THE LAND DISTURBANCE IS TO PROCEED IN ACCORDANCE WITH THE APPROVED SEQUENCE OF CONSTRUCTION AND THE CERTIFIED PLAN...
8. THE SOIL CONSERVATION DISTRICT IS TO BE NOTIFIED AND REPRESENTED AT A PRE-CONSTRUCTION CONFERENCE...
9. ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION, OR NOT SCHEDULED TO BE PERMANENTLY SEEDED WITHIN 30 DAYS MUST BE TEMPORARILY STABILIZED AS PER SPECIFICATIONS BELOW...
10. ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED, ARE TO BE SEEDED AND MULCHED WITHIN 10 DAYS OF FINAL GRADING...
11. STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE APPLIED TO ALL SEEDINGS AT A RATE OF 1-1/2 TO 2 TONS PER ACRE...
12. MULCH ANCHORING IS REQUIRED AFTER MULCHING TO MINIMIZE LOSS BY WIND OR WATER...
13. EXISTING WEEDY AND POORLY-VEGETATED AREAS WITH LESS THAN 80 PERCENT PERENNIAL GRASS COVER MUST RECEIVE PERMANENT STABILIZATION AS PER THESE SPECIFICATIONS...
14. ALL BAGS NEED TO BE SAVED FOR LIME, FERTILIZER, SEED, AND LIQUID MULCH BINDER...
15. AN ADDITIONAL FEE PER INSPECTION (AS PER THE CURRENT HUNTERDON COUNTY SOIL CONSERVATION DISTRICT FEE SCHEDULE AT THE TIME OF INSPECTION) WILL BE ASSESSED ON THOSE SITES WHERE ADDITIONAL INSPECTIONS ARE NECESSITATED...
16. SOILS IN HUNTERDON COUNTY REQUIRE THAT ALL STONE TRACKING PADS (STABILIZED CONSTRUCTION ENTRANCE) BE INSTALLED AT A MINIMUM OF 100 FT. IN LENGTH FOR ROADWAY GRADES OF 0% TO 2% AND 200 FT. FOR ACCESS GRADES GREATER THAN 2%...
17. CONDUIT OUTLET PROTECTION (RIP-RAP APRONS OR SCOUR HOLES) MUST BE DESIGNED AND INSTALLED AT ALL PIPE OUTLETS AS PER THE CERTIFIED PLANS AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL...
18. ALL STORMWATER INLET PROTECTION NEEDS TO BE MAINTAINED PERIODICALLY WITH FRESH HAYBALES OR CLEAN STONE BERMS...
19. DUST CONTROL MEASURES ARE TO BE USED DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT...
20. ALL TREES THAT ARE TO BE PROTECTED FROM ENVIRONMENTAL AND MECHANICAL INJURY DURING CONSTRUCTION ARE TO BE ADEQUATELY MARKED IN FENCED-OFF PRIOR TO CONSTRUCTION...
21. DEWATERING METHODS ARE TO BE FOLLOWED TO PROPERLY REMOVE SUSPENDED SEDIMENTS IN WATER FROM EXCAVATIONS AND/OR TRENCHES...
22. ON SUBDIVISION PLANS, INDIVIDUAL LOTS ON STEEP SLOPES (GREATER THAN 10%) OR IN CLOSE PROXIMITY TO A DRAINAGEWAY...
23. AS PER THE TRAFFIC CONTROL STANDARD IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY...
24. ANY FORMER AGRICULTURAL CROP FIELDS THAT ARE EITHER IN CROPS, CROP RESIDUE, OR ANNUAL WEED COVER ARE TO BE STABILIZED FOLLOWING THE AGRONOMIC SPECIFICATIONS FOR HUNTERDON COUNTY...
25. IF EXCESS FILL OR ANY OTHER MATERIAL IS TO BE REMOVED FROM THE SITE...
26. STOCKPILING OF FINES (SAND, QUARRY-PROCESS-BLEND, ETC.) IS NOT ALLOWED ON PAVED SURFACES OF THE PROJECT SITE...
27. ANY GABION BASKETS USED ON THE PROJECT ARE TO BE COATED WITH PLASTIC OR PVC AND FILLED WITH 4"-7" ANGULAR ROCK...

- FABRIC IS TO BE INSTALLED BETWEEN THE SUBGRADE AND THE GABIONS.
28. THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS ARE NOT TO BE EXCEEDED UNLESS AUTHORIZED BY THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT AND A REVISED PLAN SUBMITTED FOR CERTIFICATION.
29. ALL DISTURBED ROADSIDE AREAS NEED TO BE TOPSOILED, FINAL-GRADED, LIMED, FERTILIZED, SEEDED, MULCHED, AND MULCH-ANCHORED...
30. THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT DOES NOT RECOMMEND THE USE OF RIP-RAP D50 SIZES SMALLER THAN 6" FOR APRONS OR SCOUR HOLES...
31. TEMPORARY DIVERSIONS TO DIRECT WATER OFF OF A GRADED RIGHT-OF-WAY ONTO A STABLE AREA ARE NEEDED DURING CONSTRUCTION...
32. A SEDIMENT BARRIER MUST BE INSTALLED ABOVE ANY DETENTION/RETENTION BASINS...
33. HYDROSEEDING/HYDROMULCHING ARE NOT RECOMMENDED PRACTICES IN HUNTERDON COUNTY...
34. IF SUBSURFACE WATER PROBLEMS ARE DISCOVERED DURING CONSTRUCTION...
35. ALL DEVELOPMENT ROADWAYS ARE TO BE KEPT SCRAPPED/SWEPT TO REMOVE SEDIMENT ACCUMULATIONS...
36. THE MAXIMUM ALLOWABLE VEGETATED SLOPE IS 2:1...
37. ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION...
38. A REPORT OF COMPLIANCE FROM THE SOIL CONSERVATION DISTRICT IS REQUIRED FOR EACH DWELLING LOT...
39. IT IS THE OWNER/APPLICANT'S RESPONSIBILITY TO NOTIFY THE DISTRICT OF ALL PROPERTY CONVEYANCES...
40. PURSUANT TO THE NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL ACT...
41. PLANS SUBMITTED TO THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT MUST BE CONSISTENT WITH PLANS ANY PLANS SUBMITTED TO A REGULATORY AGENCY...
42. ALL REVISIONS AND MUNICIPAL RENEWALS OF THIS PROJECT WILL REQUIRE RESUBMISSION AND APPROVAL...
43. REPORT OF COMPLIANCE: A REPORT OF COMPLIANCE APPROVING PERMANENT STABILIZATION MEASURES...
44. PURSUANT TO AUTHORITY GRANTED BY N.J.S.A. 42:4 47...
45. IT IS POLICY OF THE HUNTERDON COUNTY SOIL CONSERVATION DISTRICT TO PERIODICALLY EVALUATE ALL PROJECTS...
46. SOIL COMPACTION: AREAS OF TRAVEL WITHIN A PROJECT SITE AND/OR STAGING AND PARKING AREAS MAY HAVE SOILS COMPACTED DURING THE COURSE OF PROJECT CONSTRUCTION...

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

- SOIL COMPACTION TESTING REQUIREMENTS
1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL...
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN...
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS...
COMPACTED TESTING METHODS
A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS...
SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE)...
PROCEDURES FOR SOIL COMPACTION MITIGATION
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL...
RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE...

AGRONOMIC SPECIFICATIONS FOR LAWNS AND CONSTRUCTION SITES

- GENERAL
1. ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION...
2. ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED, ARE TO BE SEEDED AND MULCHED WITHIN 10 DAYS OF FINAL GRADING...
3. STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT)...
4. MULCH ANCHORING IS REQUIRED AFTER MULCHING TO MINIMIZE LOSS BY WIND OR WATER...
5. EXISTING WEEDY AND POORLY-VEGETATED AREAS WITH LESS THAN 80 PERCENT PERENNIAL GRASS COVER MUST RECEIVE PERMANENT STABILIZATION...
6. ALL BAGS NEED TO BE SAVED FOR LIME, FERTILIZER, SEED, AND LIQUID MULCH BINDER...
7. AN ADDITIONAL FEE OF \$125.00 PER INSPECTION WILL BE ASSESSED ON THOSE SITES WHERE ADDITIONAL INSPECTIONS ARE NECESSITATED...

SEED-BED PREPARATION FOR ALL SEEDINGS

SUB-SOIL PREPARATION: IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED TO A DEPTH OF 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION (E.G. AREAS OF HEAVY CONSTRUCTION TRAFFIC)...

TOPSOLLING: AREAS TO BE SEEDED SHOULD HAVE A MINIMUM OF 5" OF FRIABLE, LOAMY, TOPSOIL FREE OF OBJECTIONABLE WEEDS, STONES AND DEBRIS.

FINAL GRADING: GRADING IS TO BE SMOOTH OF RUTS AND FREE OF OBJECTIONABLE STONES, DEPRESSIONS, VEHICLE TRACKS, AND ROUGH EDGES...

LIMING/FERTILIZING: APPLY LIMESTONE AND FERTILIZER TO SOIL TEST RECOMMENDATIONS OR AS FOLLOWS:
A. LIME IS TO BE APPLIED AT THE RATE OF 2 TONS (4,000 LBS.) PER ACRE...
B. STARTER FERTILIZER, SPECIFIED AS 10-20-10, IS TO BE APPLIED AT 500 LBS. PER ACRE...
C. LIME AND FERTILIZER ARE TO BE WORKED INTO THE SOIL TO A DEPTH OF 4 INCHES.

TEMPORARY STABILIZATION WITH MULCH ONLY

STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE SPREAD UNIFORMLY AT THE RATE OF 2 TO 2-1/2 TONS PER ACRE (TOTAL GROUND SURFACE COVERAGE)...

PRODUCT RATE RECOMMENDED OPTIMUM SEEDING DATES

Table with 3 columns: PRODUCT, RATE RECOMMENDED, OPTIMUM SEEDING DATES. Includes items like PERENNIAL RYEGRASS, SPRING OATS, WINTER CEREAL RYE, WINTER BARLEY, PEARL MILLET, HUNGARIAN MILLET.

STABILIZATION WITH SOD

STABILIZATION WITH SOD IS PERMITTED IN AREAS WHERE MAINTENANCE AND IRRIGATION ARE ADEQUATE TO INSURE PROPER ESTABLISHMENT AND LONGEVITY...

PERMANENT SEEDING

- A. SEED IS TO BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4" - 1/2".
B. LAWN SEEDINGS ARE TO BE A MIXTURE OF BLUEGRASSES, TURF-TYPE FESCUES, AND TURF-TYPE PERENNIAL RYEGRASSES...
C. PROFESSIONAL SEED MIXTURES ARE RECOMMENDED RATHER THAN MIXING SEEDS YOURSELF.
D. SEED MIXTURE (AS SPECIFIED BELOW) IS TO BE APPLIED AT A MINIMUM RATE OF 200 LBS. PER ACRE OF PERENNIAL SEED...
E. OPTIMUM SEEDING PERIOD FOR HUNTERDON COUNTY IS FROM MARCH 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 1...
F. SEEDINGS SHOULD RECEIVE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 LBS. PER ACRE APPROXIMATELY 6 MONTHS AFTER FIRST APPLICATION.

SEEDING MIXTURE FOR GENERAL SEEDING - (EXAMPLE: LAWNS)

Table with 2 columns: SEEDING MIXTURE, PERCENTAGE. Includes 40% TURF-TYPE TALL FESCUE, 60% KENTUCKY BLUEGRASS, 10% CHEWINGS FESCUE, etc.

SEEDING MIXTURE FOR HIGH TRAFFIC & CRITICAL AREAS

Table with 2 columns: SEEDING MIXTURE, PERCENTAGE. Includes 80% TURF-TYPE TALL FESCUE, 10% KENTUCKY BLUEGRASS, 10% TURF-TYPE PERENNIAL RYEGRASS.

OTHER SEED MIXTURES, SUCH AS BLENDED VARIETIES OF PERENNIAL TURF-TYPE RYEGRASSES, TURF-TYPE TALL FESCUES, OR BLUEGRASSES MAY ALSO BE ACCEPTABLE IF APPROVED BY THE DISTRICT.

GENERAL CONSTRUCTION NOTES

- 1. SEE SHEET 1 FOR GENERAL NOTES.
2. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY...
3. THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS...
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY...
6. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL...
7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL FEES INCLUDING INSPECTION FEES...
8. ITEMS NOT SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR...
9. THE CONTRACTOR SHALL MAINTAIN ON SITE SANITARY UNITS FOR PUBLIC HEALTH PURPOSES.
10. THE CONTRACTOR SHALL MAINTAIN TRIMMED GRASSED AREAS (WEEKLY BASIS) AND CLEAR SITE OF LITTER (DAILY BASIS)
11. THE CONTRACTOR SHALL SWEEP ALL SOIL AND SILT OR DEBRIS FROM ROADWAY PERIODICALLY THROUGHOUT THE DAY...

CONSTRUCTION SEQUENCE

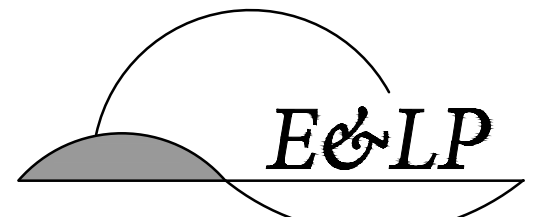
Table with 3 columns: Activity, Duration, Start/End Dates. Includes INSTALL ALL SEDIMENT FILTER FENCE (01 WEEK), SITE CLEARING & ROUGH GRADING (04 WEEKS), RESTORATION OF SITE IMPROVEMENTS (24 WEEKS), etc.

TOTAL LIMIT OF DISTURBANCE: 2.80 AC. (122,218 S.F.)

NOTE:

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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 246GA28021500 EXP. 8/31/2022

Table with 4 columns: NO., REVISION, BY, DATE. Includes 2 REVISED PER DRAINAGE CHANGES (EAJ 6/11/2021), 1 REVISED TO INCLUDE PHASING PLAN (KFO 1/26/21).

6/11/2021 DATE
WAYNE J. INGRAM PROFESSIONAL ENGINEER N.J. P.E. NO. 24GB0425820

PROJECT: ANSUYA ENTERPRISE OF CLINTON, LLC & ANSUYA RIVERBEND, LLC BLOCK 17 LOT 2 & BLOCK 18 LOTS 2.03, 2.04, & 6 TOWN OF CLINTON

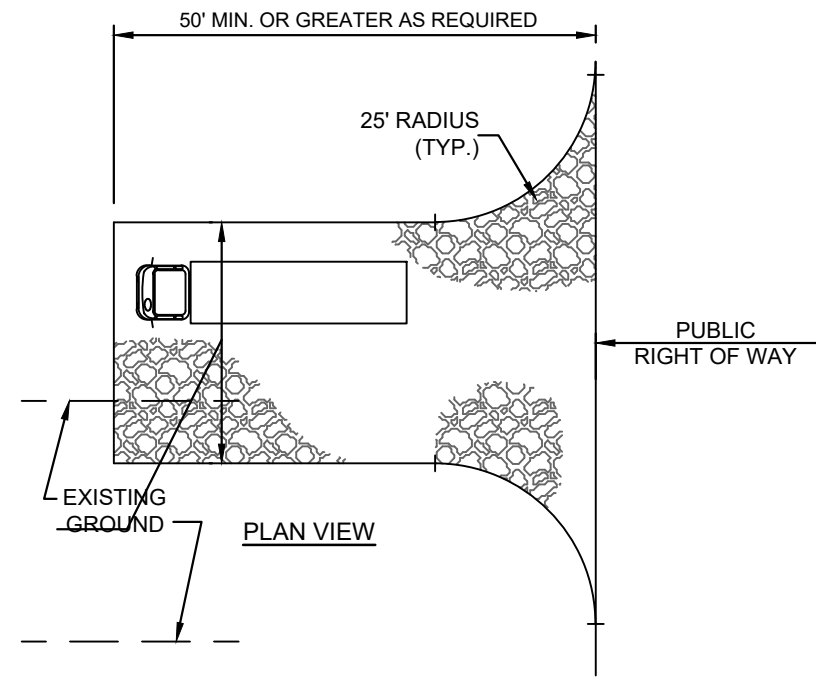
HUNTERDON COUNTY NEW JERSEY
TITLE:

SESC NOTES

Table with 2 columns: JOB NO., SCALE, DESIGNED, CHECKED, FILENAME, DATE. Includes JOB NO.: 0120281, SCALE: AS SHOWN, DESIGNED: EJ, CHECKED: KFO, FILENAME: XX-DETAILS.DWG, DATE: 12/11/2020.

DESIGN CRITERIA

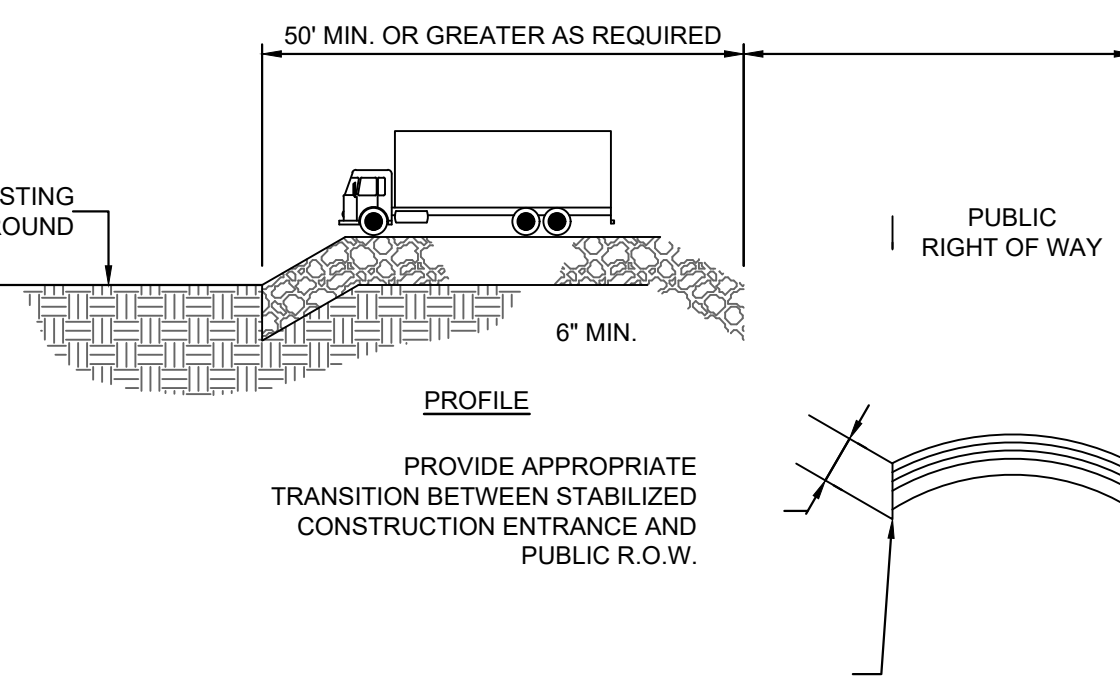
STONE SIZE - USE ASTM C-33, SIZE No. 2 (2 1/2" to 1 1/2") OR 3 (2 to 1 1/2"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE. THICKNESS-NOT LESS THAN SIX (6) INCHES. WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.



MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

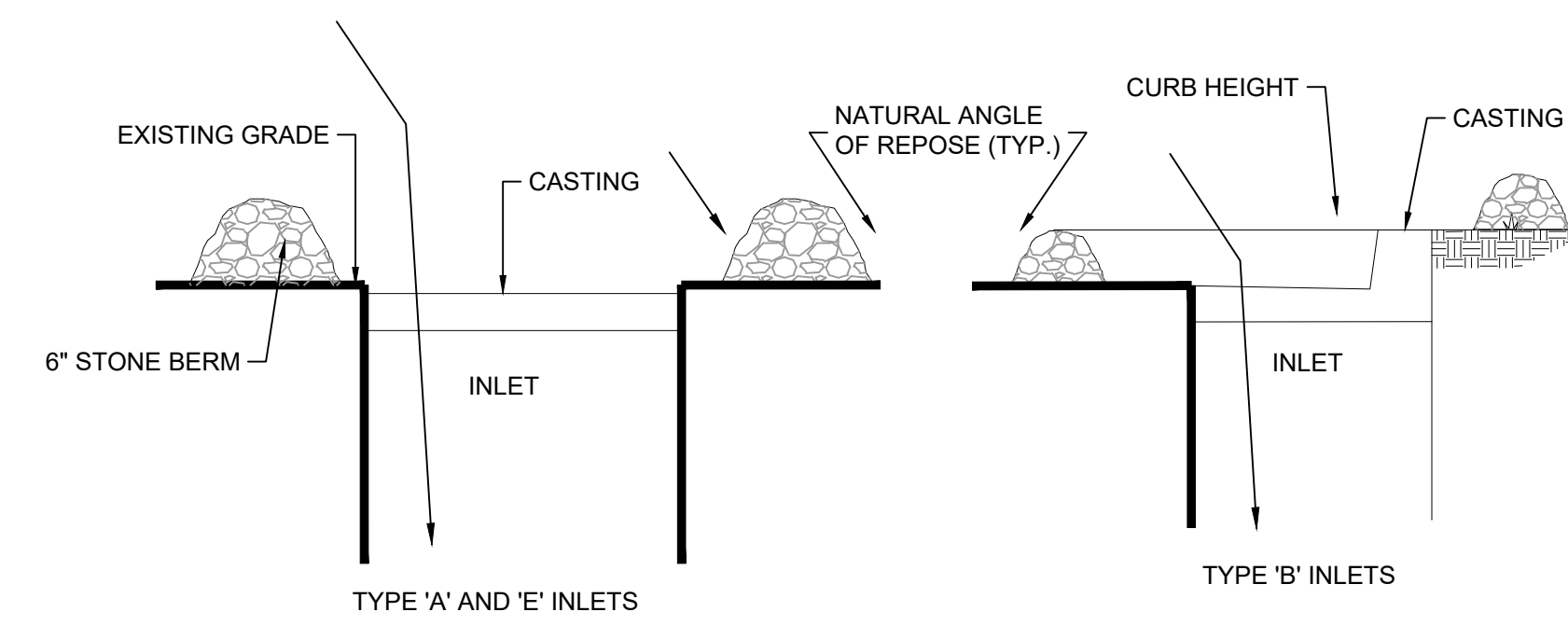


WIDTH OF EXIST. ACCESS

1 STABILIZED CONSTRUCTION ACCESS

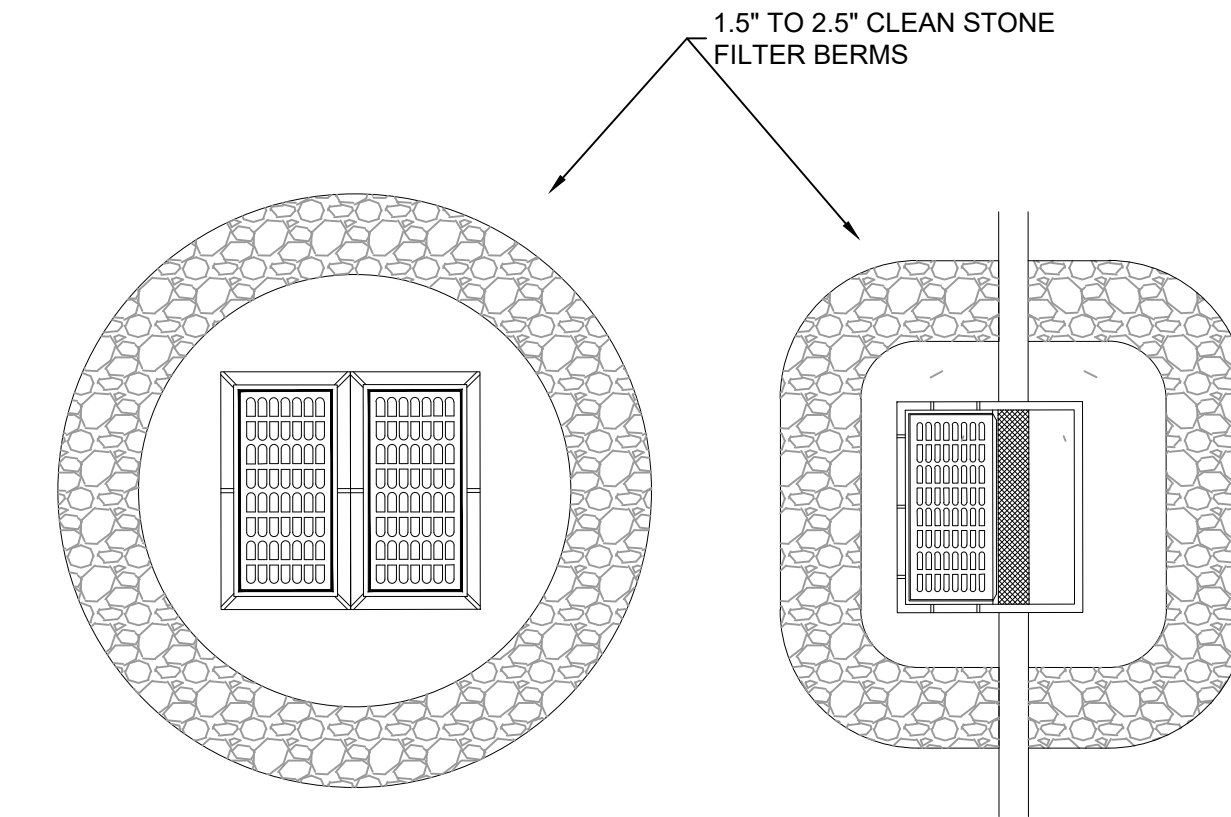
NTS

CROSS SECTION - NOT TO SCALE



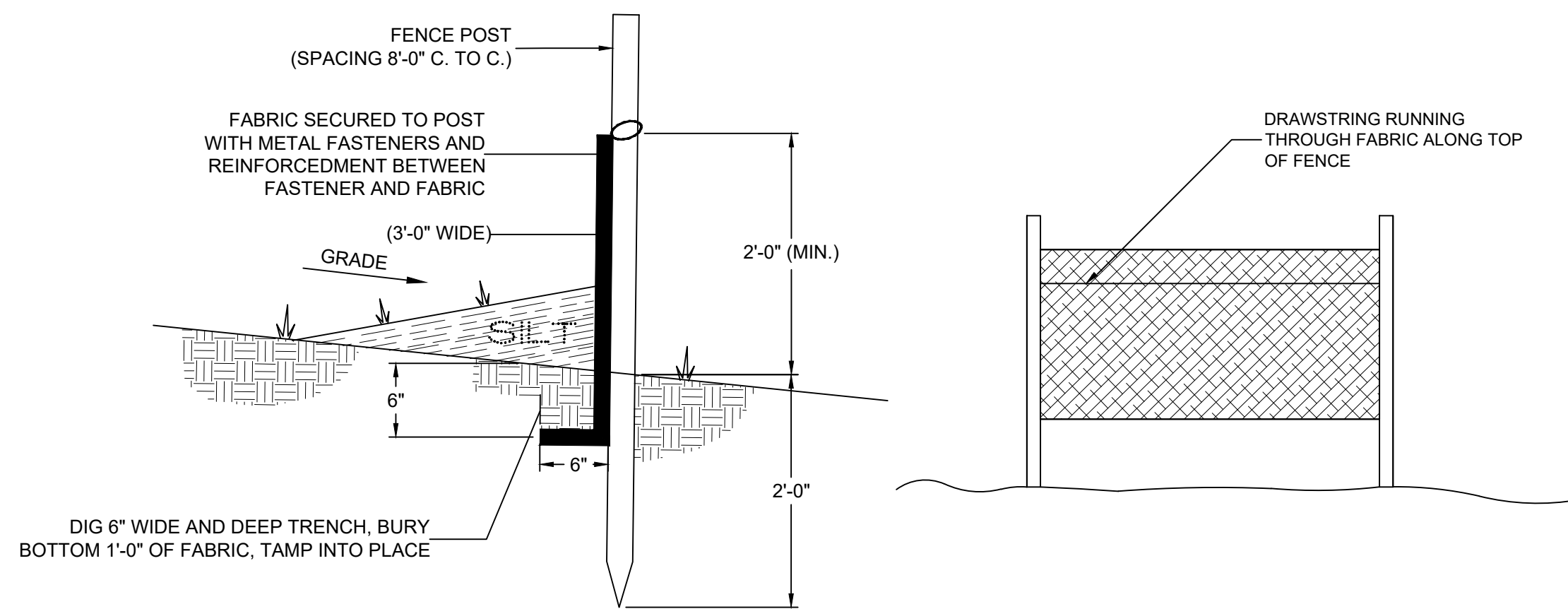
- NOTES**
1. STONE PILES NOT TO EXCEED CURB HEIGHT OR OBSTRUCT FLOW TO AN EXTENT THAT A FLOODING HAZARD IS CREATED
 2. NO STONE OR FILTERS SHALL BE PLACED OVER INLET OPENINGS

PLAN VIEW - NOT TO SCALE



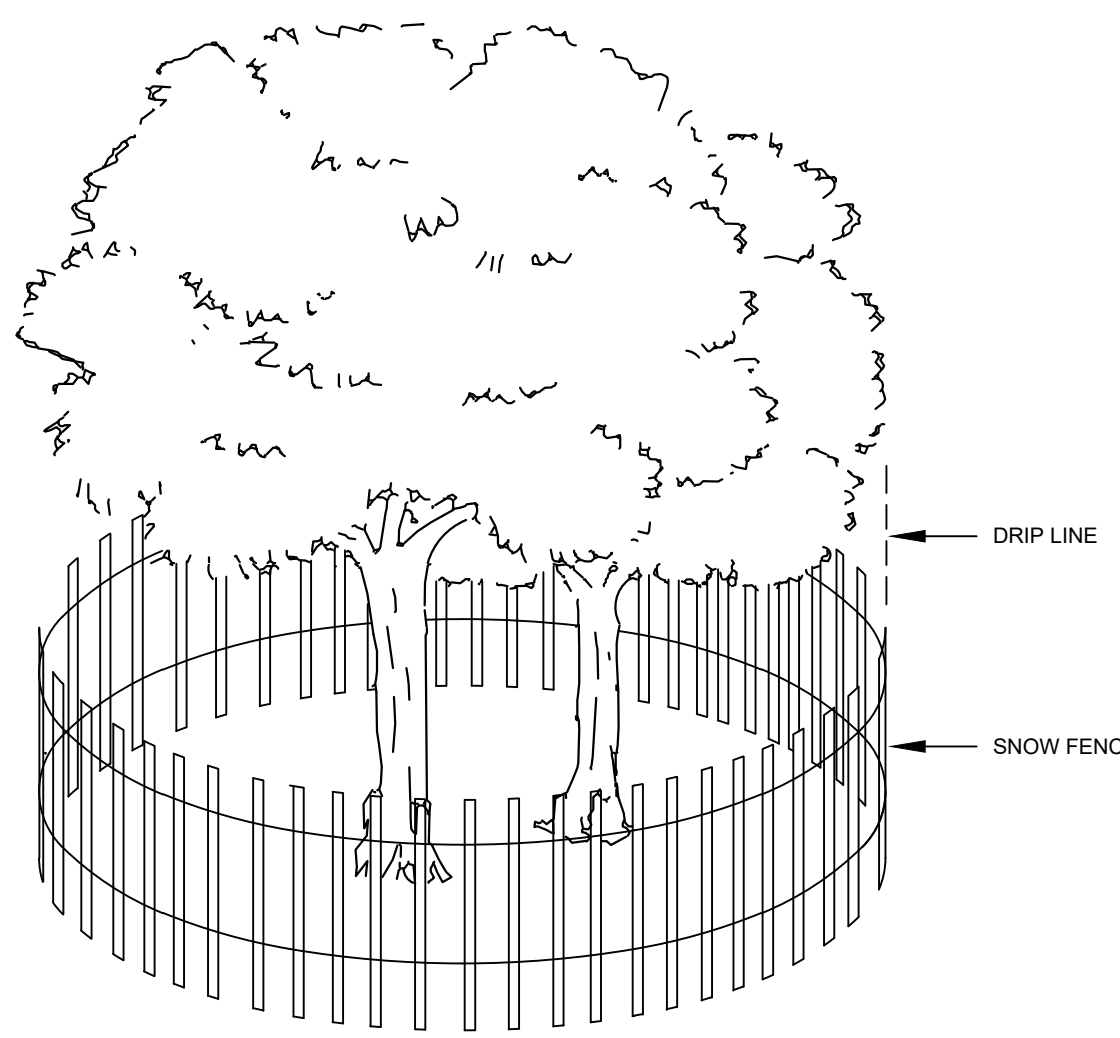
2 INLET PROTECTION DETAIL

NTS



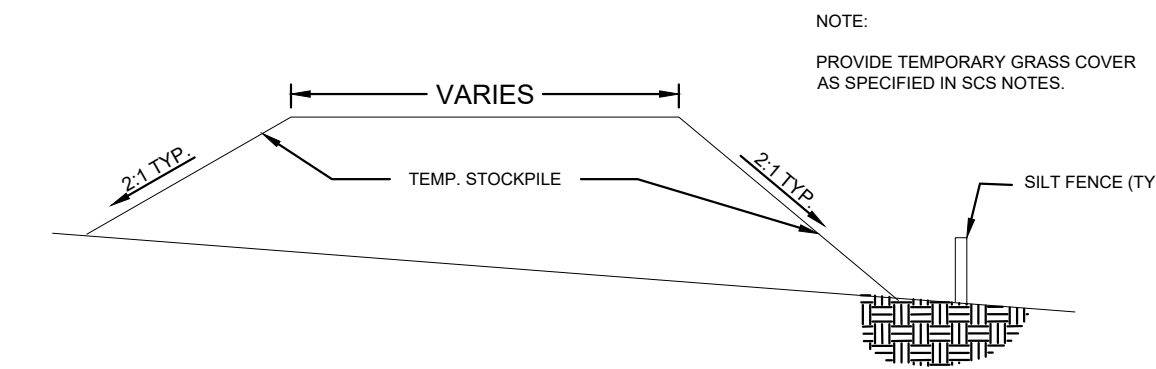
3 SILT FENCE DETAIL

NTS



4 TREE PROTECTION DETAIL

NTS



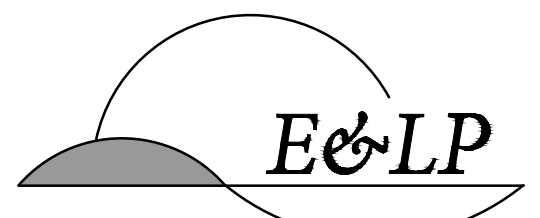
5 TEMPORARY STOCKPILE DETAIL

NTS

NOTE:

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE
2	REVISED PER DRAINAGE CHANGES	EAJ	6/11/2021
1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21

6/11/2021 DATE WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:

SESC DETAILS

JOB NO.:	0120281	DRAWING NO.:	11
SCALE:	AS SHOWN		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	XX-DETAILS.DWG		
DATE:	12/11/2020		

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA (DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS)), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT/SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

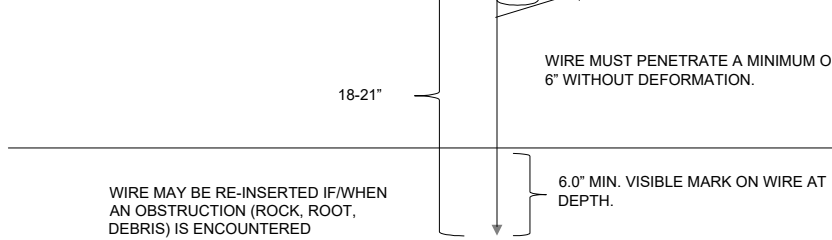
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

SIMPLIFIED TESTING METHODS

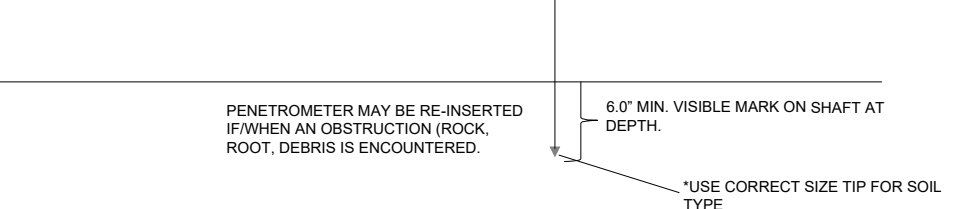
PROBING WIRE TEST- 1/8" GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



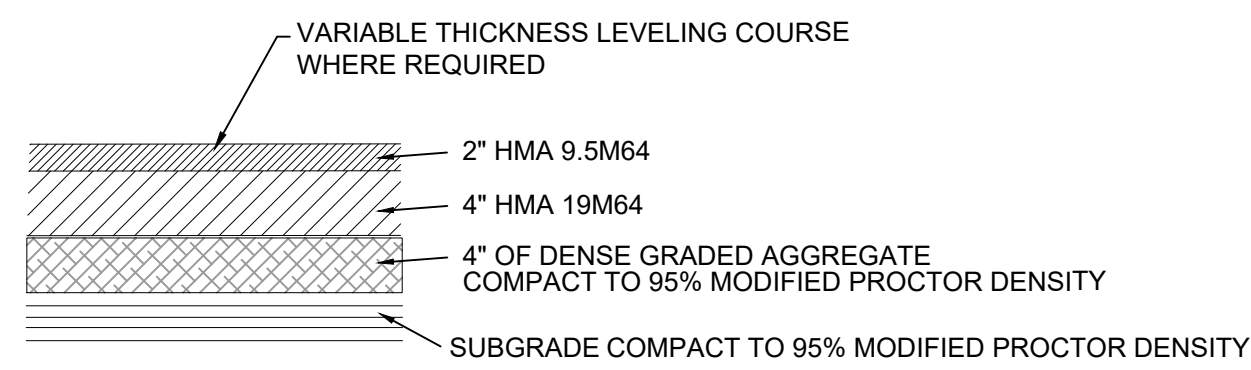
HAND-HELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAGE.



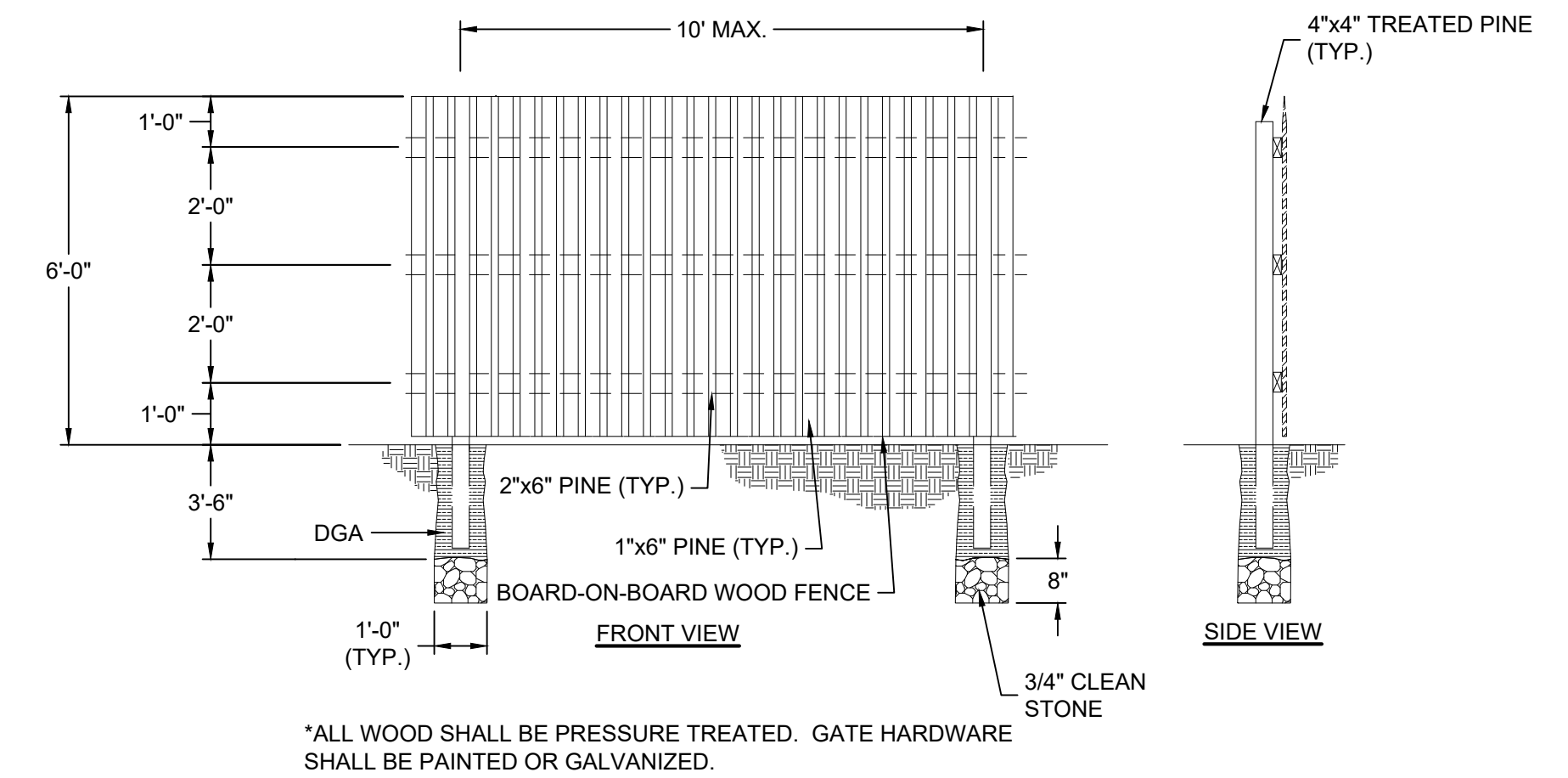
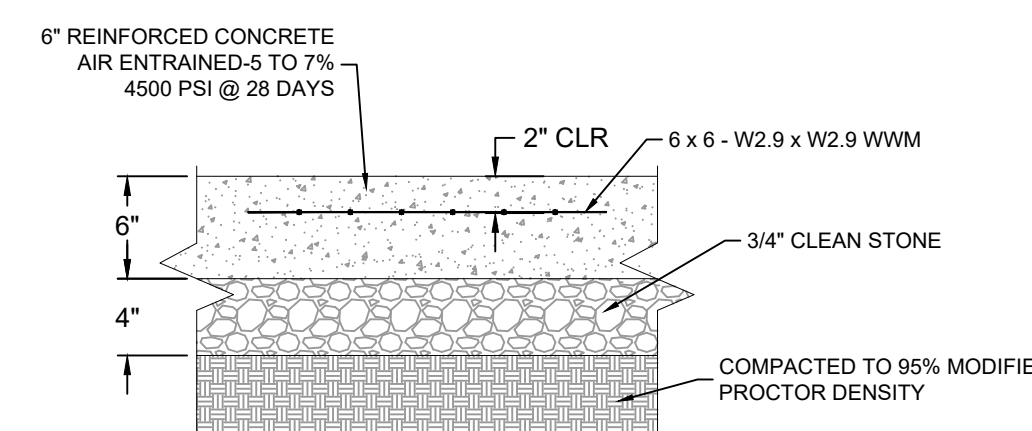
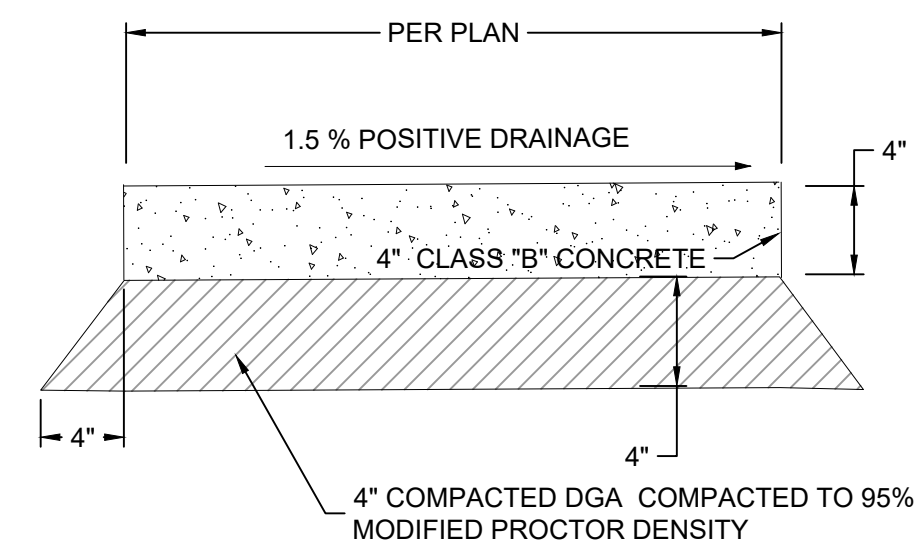
6 SOIL COMPACTION TEST DETAIL

NTS



GENERAL NOTES:

1. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER AND MORRIS COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL. THE DISTRICT SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
2. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MORRIS COUNTY SOIL CONSERVATION DISTRICT OF ANY STAGING AND/OR STOCKPILE LOCATION AREAS AND FOR OBTAINING A SOIL EROSION AND SEDIMENT CONTROL CERTIFICATION FOR THESE AREAS.
4. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15 FT. X 50 FT. X 6 IN. (MINIMUM), CRUSHED STONE 2-1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

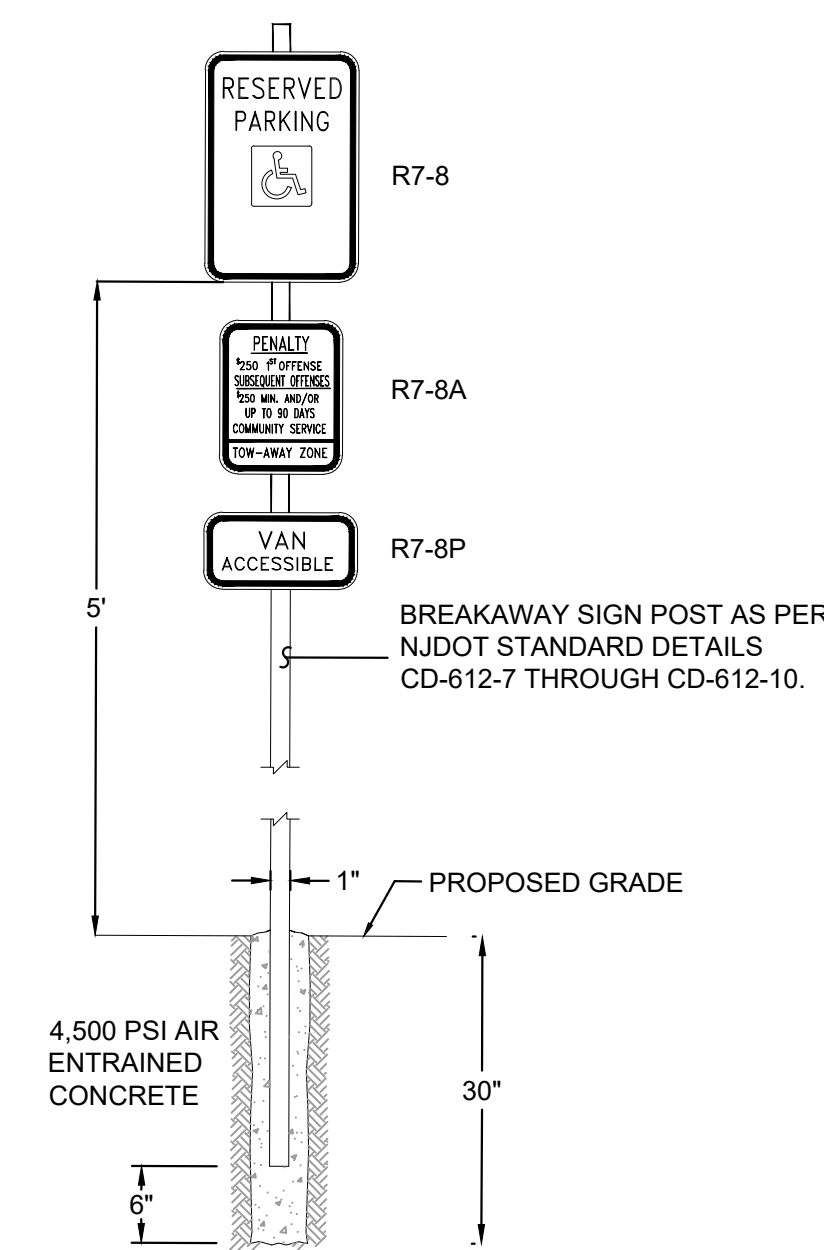
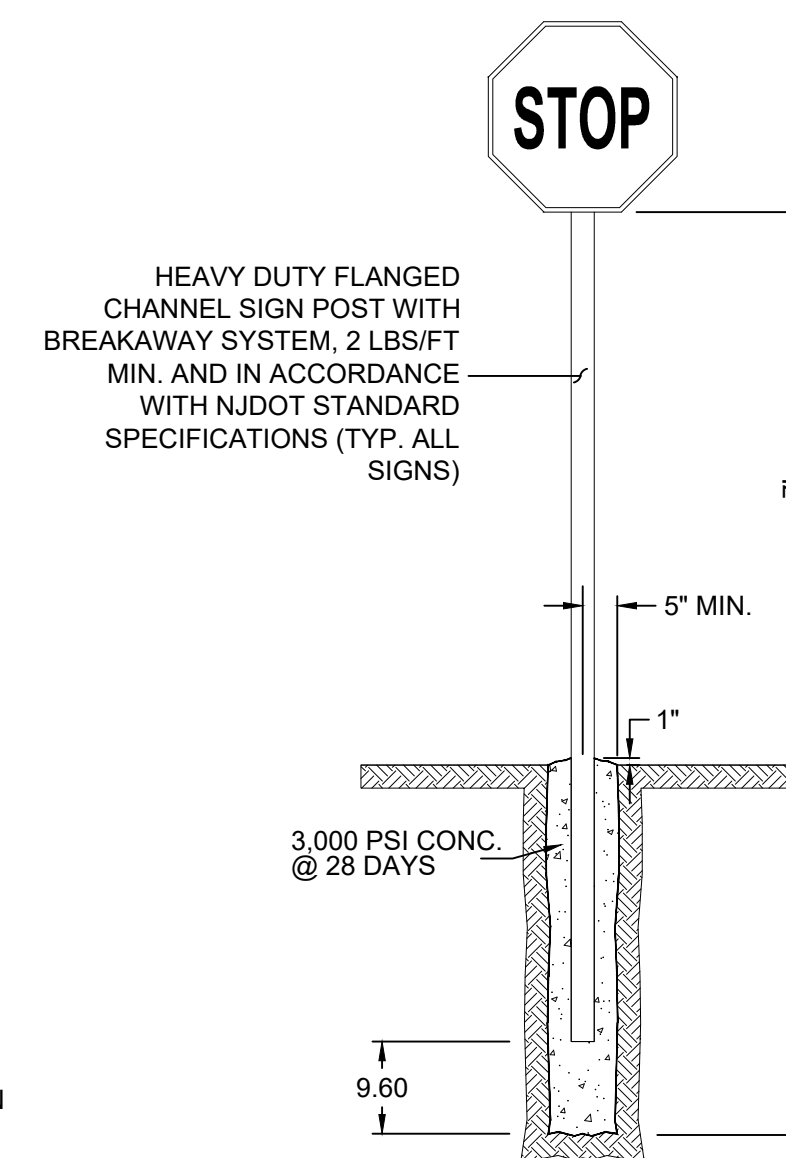
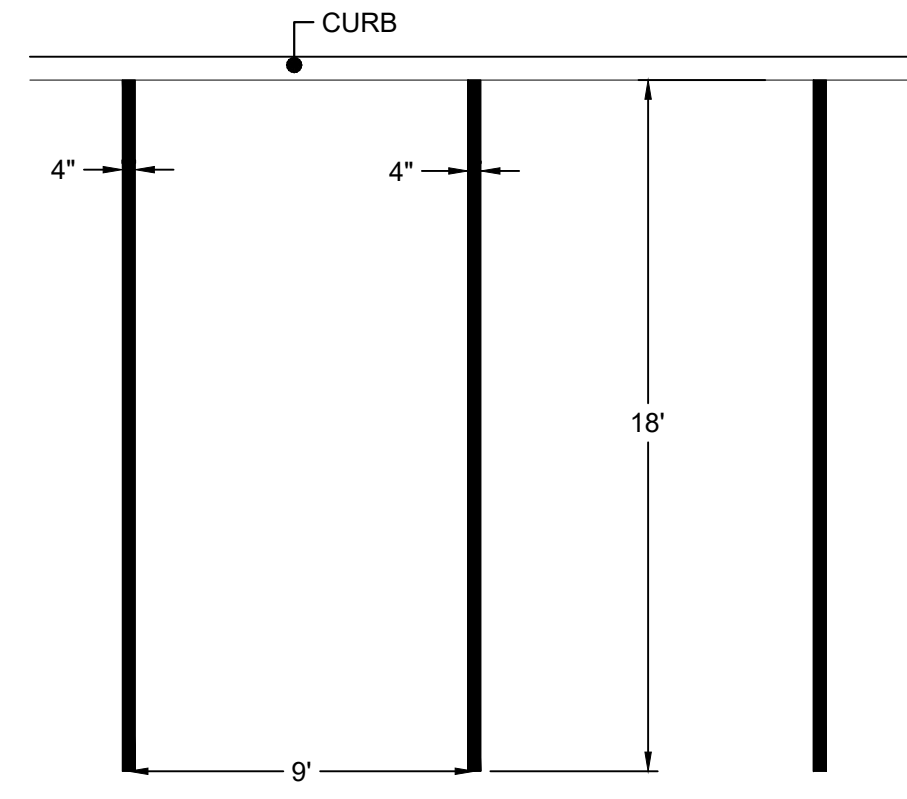
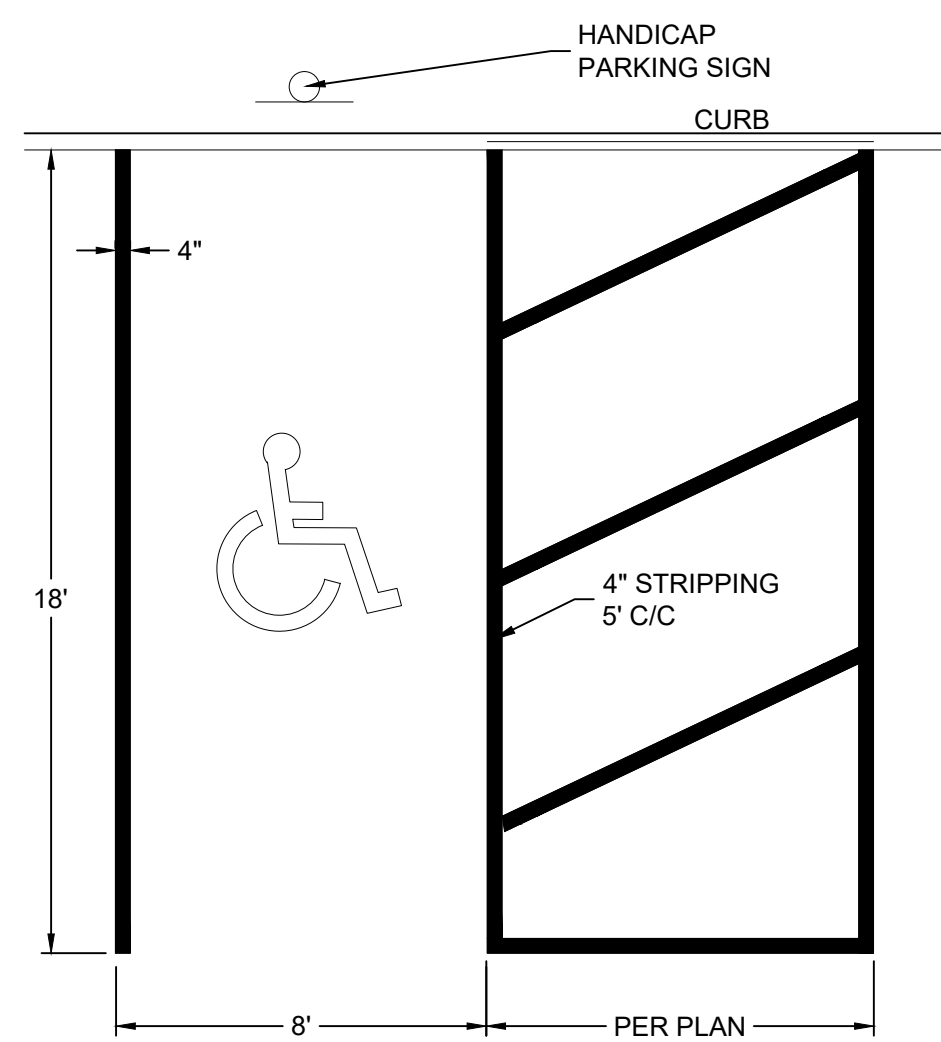


1 BITUMINOUS PAVING DETAIL NTS

2 STANDARD SIDEWALK DETAIL NTS

3 TRASH ENCLOSURE PAD DETAIL NTS

4 TRASH ENCLOSURE 6' HIGH BOARD-ON-BOARD FENCE DETAIL NTS



- NOTES:**
1. SEE PLAN FOR PARKING SPACE DIMENSIONS AND LOCATION.
 2. HANDICAP PARKING SYMBOL AND STRIPPING COLOR PER LOCAL REQUIREMENTS.

- NOTES:**
1. SEE PLAN FOR PARKING SPACE LOCATION.
 2. USE THE COLOR WHITE FOR ALL NON-HANDICAP PARKING STRIPPING.

STOP BAR 24 IN

5 HANDICAP PARKING STALL DETAIL NTS

6 PARKING STALL DETAIL NTS

7 STOP BAR MARKING DETAIL NTS

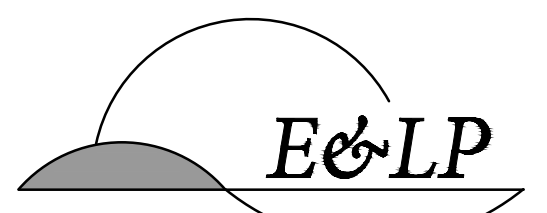
8 TYPICAL SIGN DETAIL NTS

10 HANDICAP PARKING SIGN DETAIL NTS

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1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21

6/11/2021 DATE WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

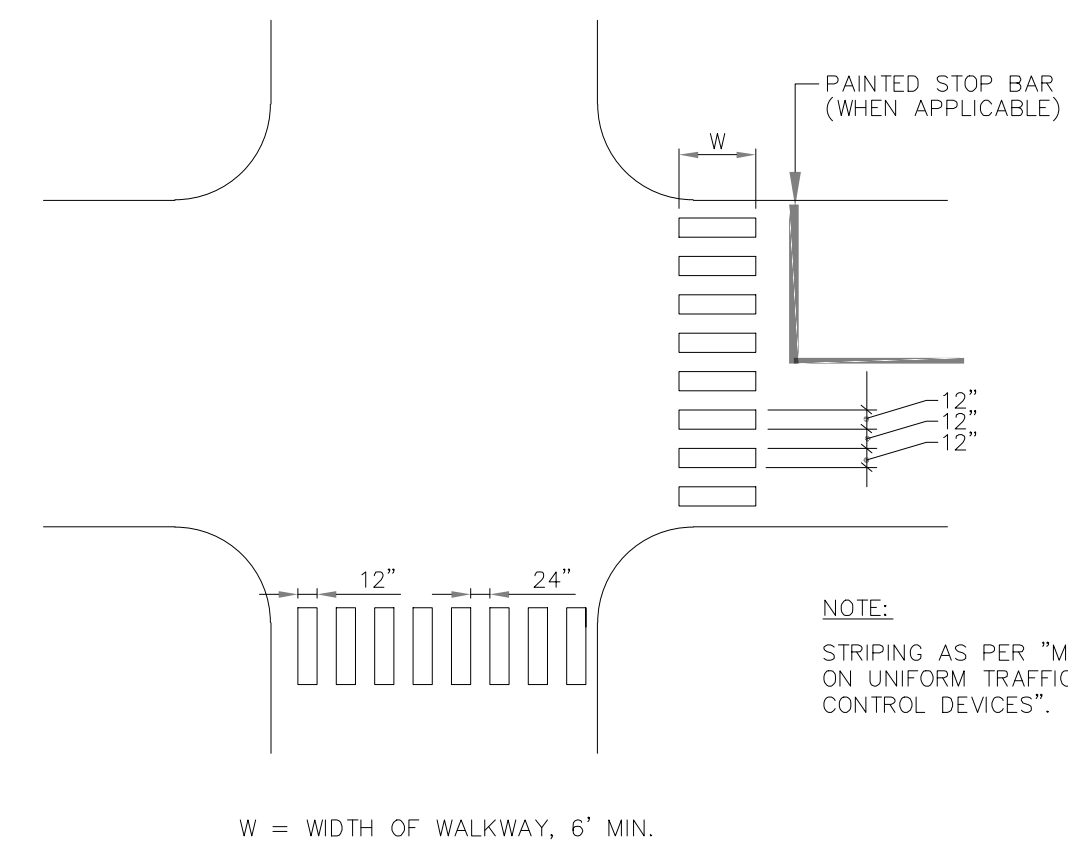
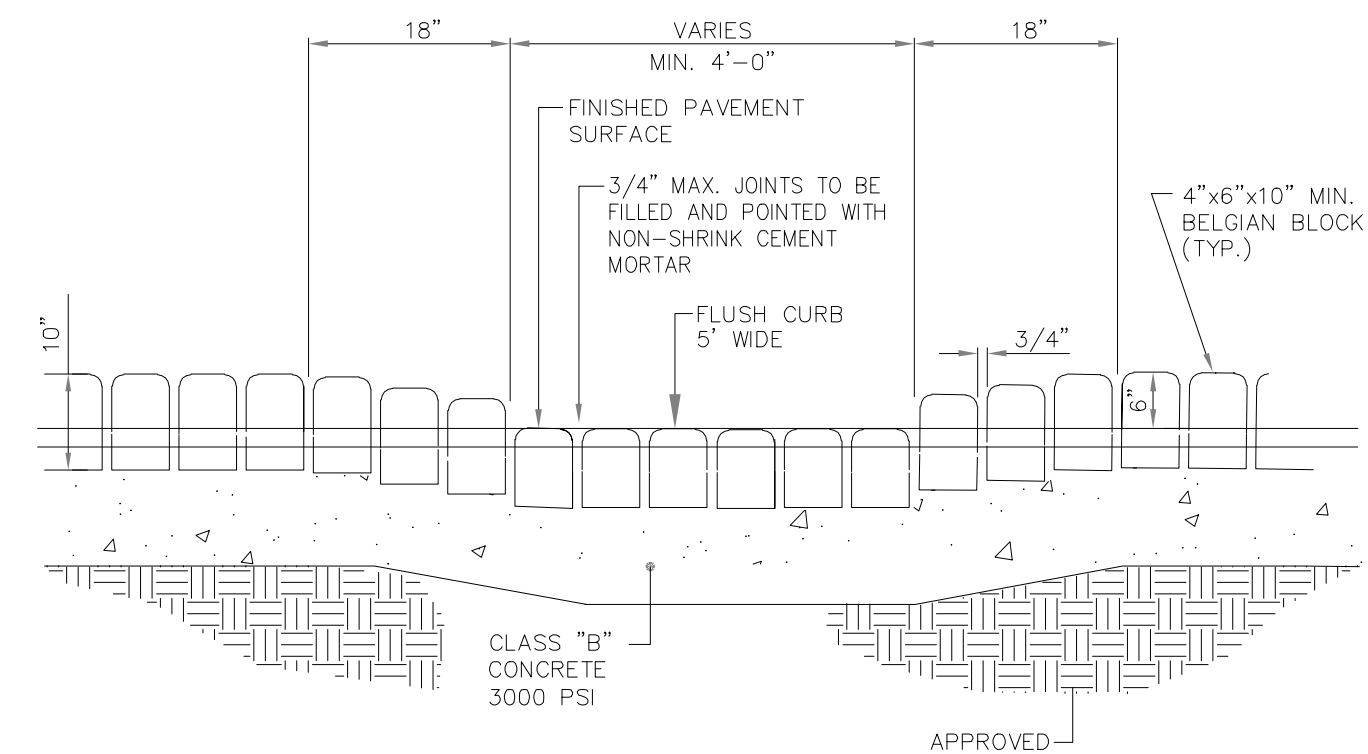
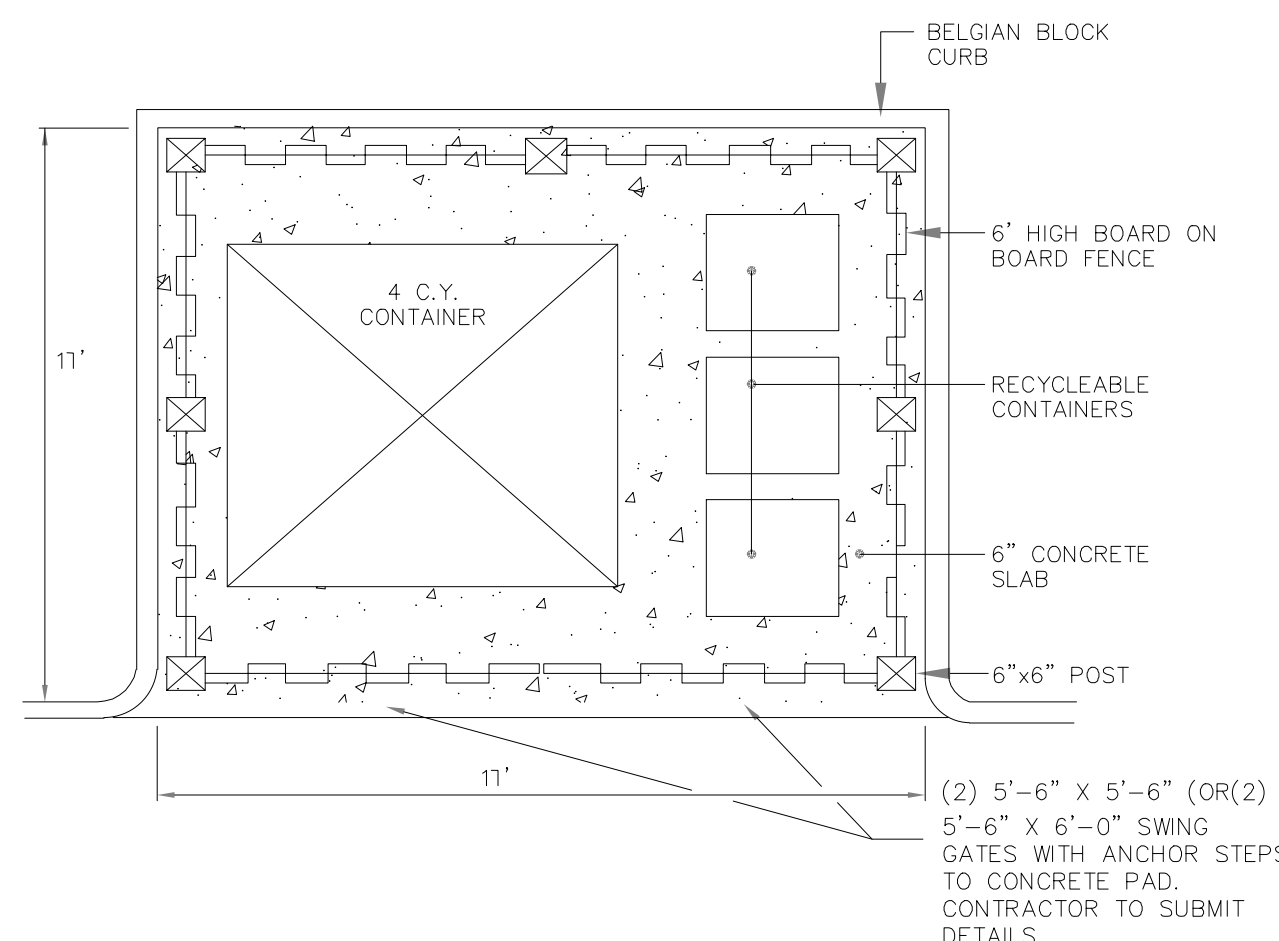
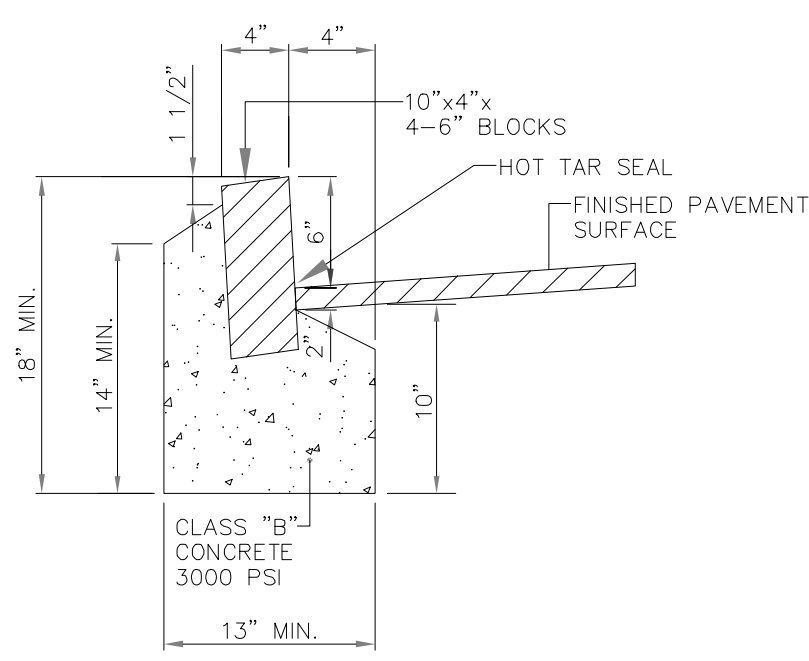
PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:

CONSTRUCTION DETAILS

JOB NO.:	0120281	DRAWING NO.:	12
SCALE:	AS SHOWN		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	XX-DETAILS.DWG		
DATE:	12/11/2020		

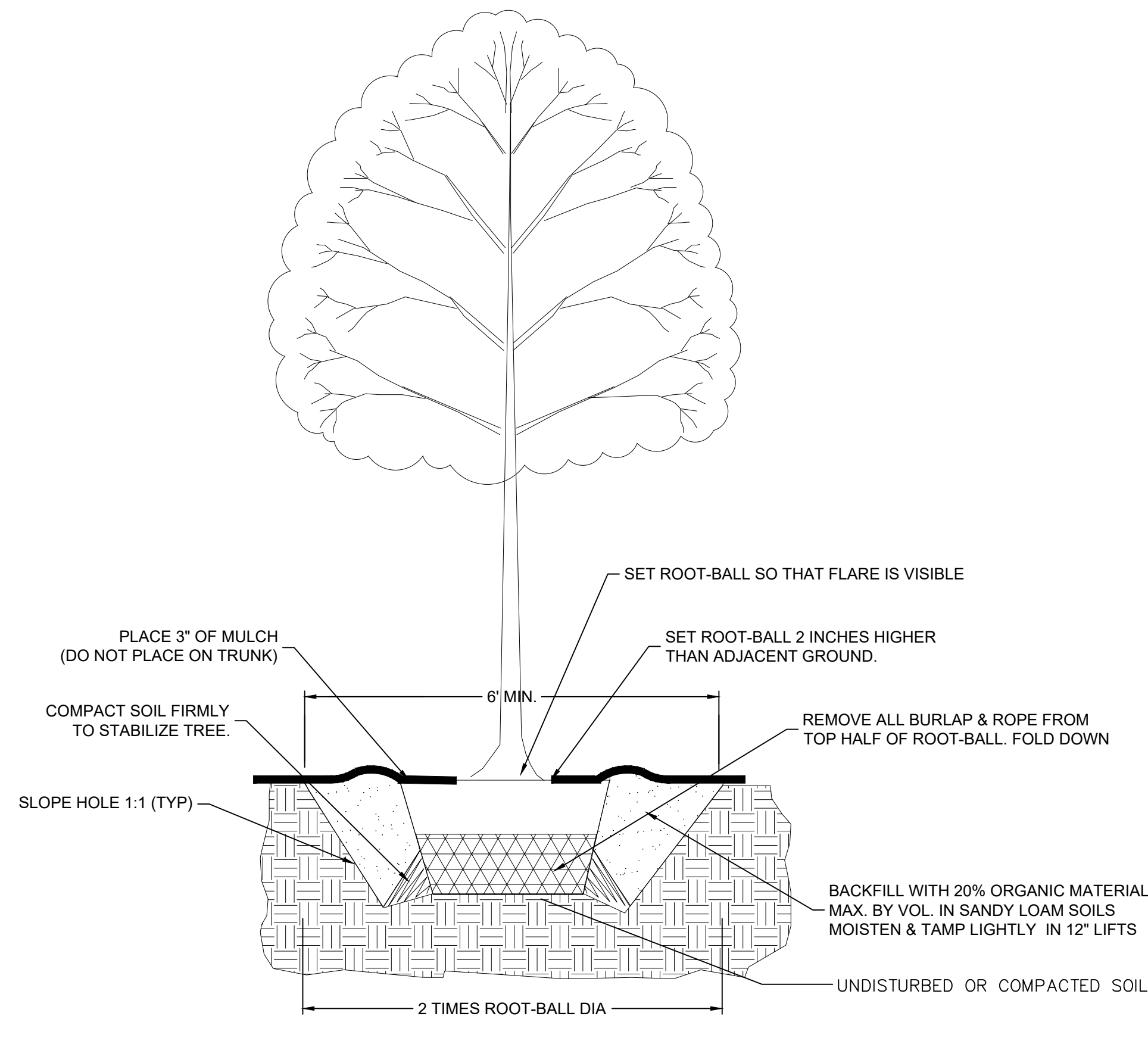


11 BELGIAN BLOCK CURB DETAIL NTS

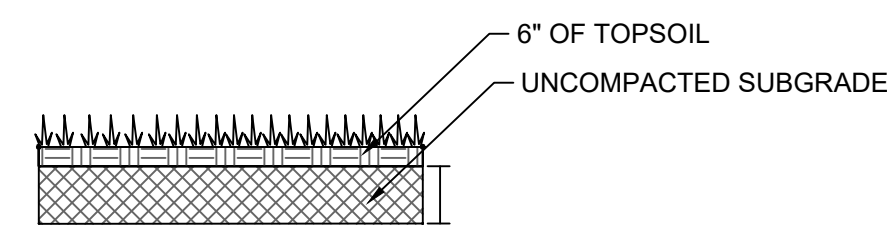
12 TRASH ENCLOSURE DETAIL NTS

13 DEPRESSED BELGIAN BLOCK CURB DETAIL NTS

14 CROSSWALK STRIPING DETAIL NTS



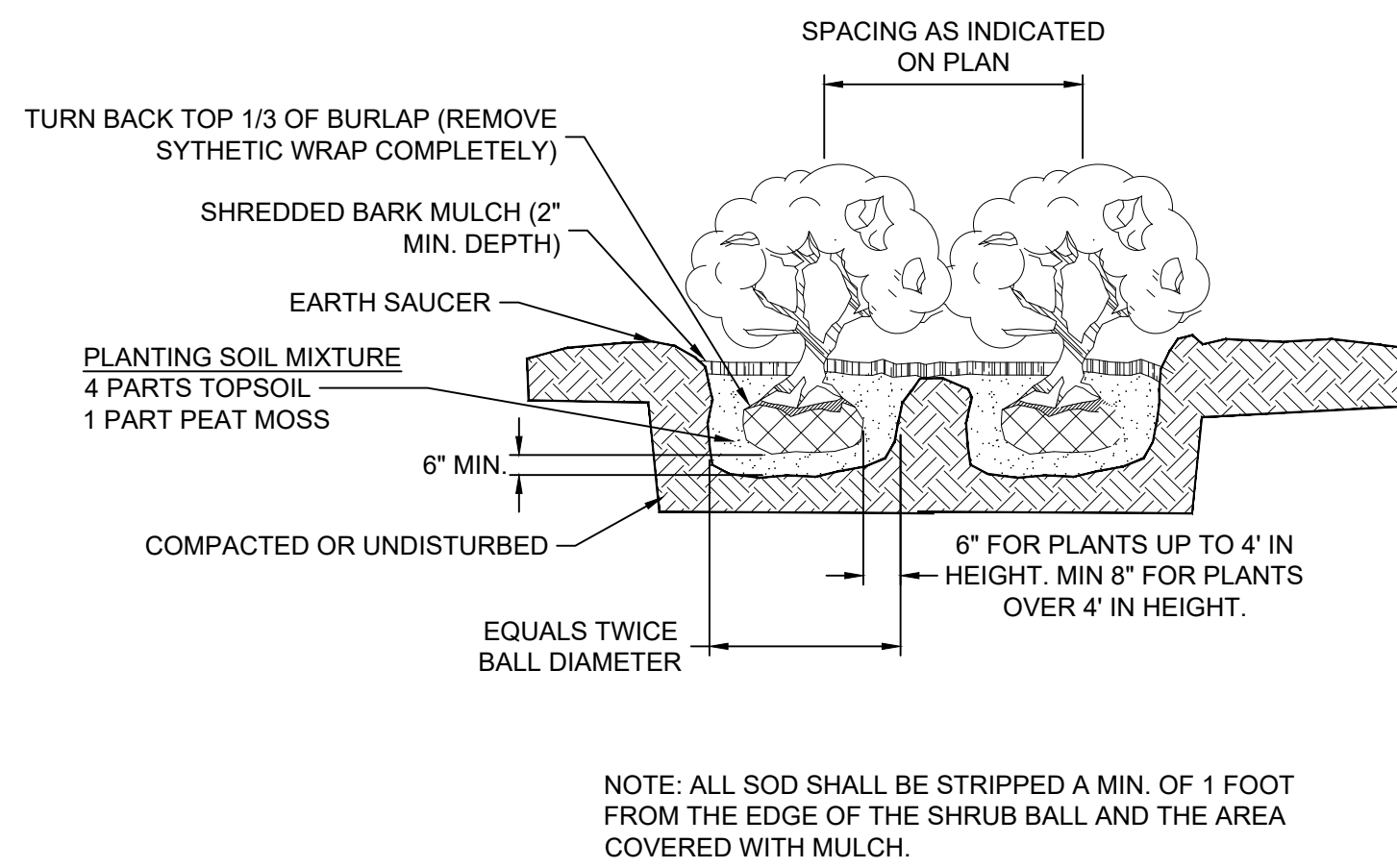
1 TYPICAL TREE PLANTING DETAIL NTS



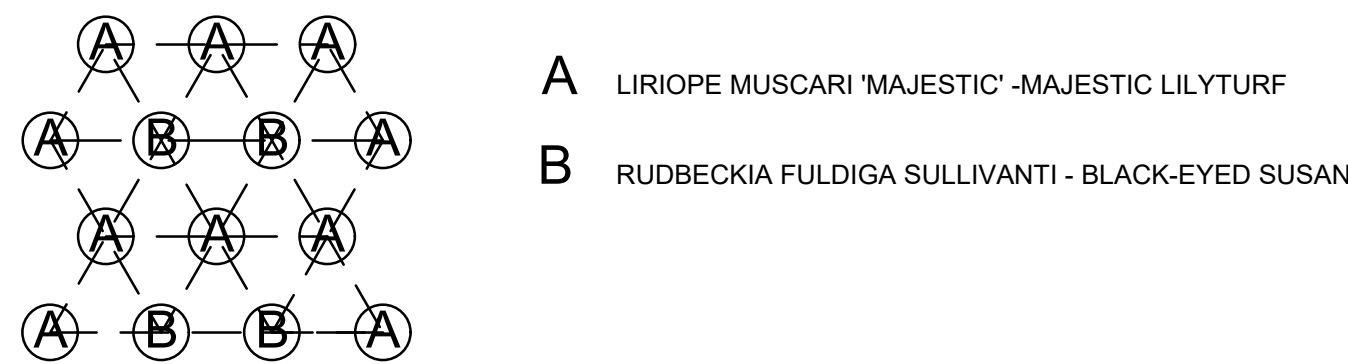
4 LAWN DETAIL NTS

SEEDING SPECIFICATIONS

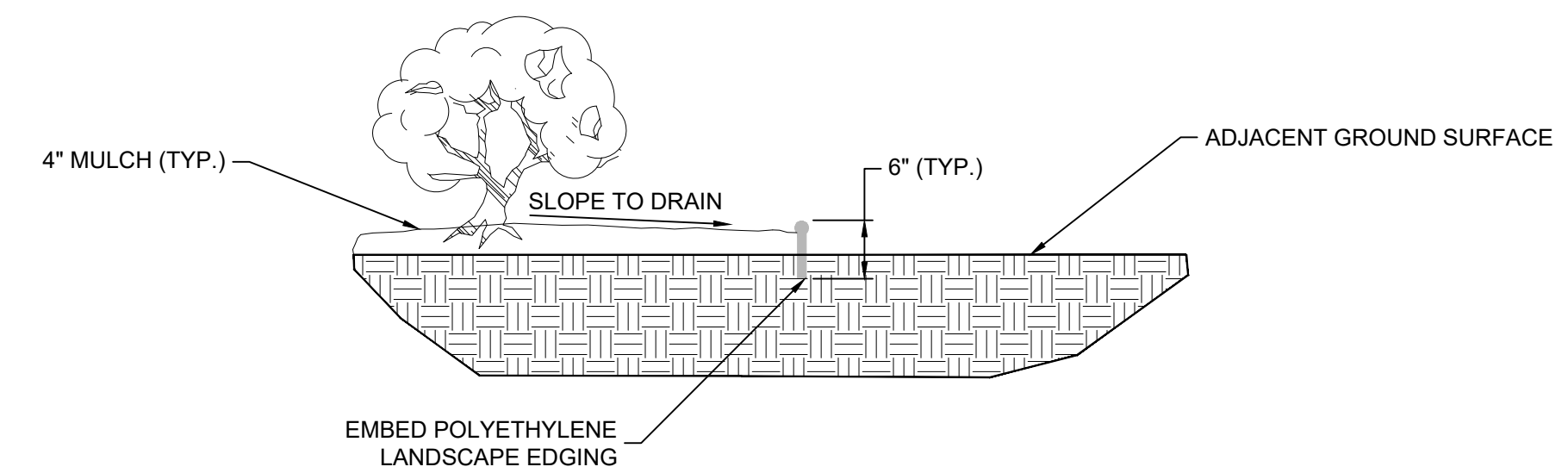
PERMANENT SEEDING:
 PREPARATION: FERTILIZER (10:20:10) @14 LBS./1,000 SF
 LIME RATE SHALL BE ESTABLISHED VIA SOIL TESTING
 SEED MIX: PERENNIAL RYEGRASS @ 0.5 LBS/1,000 SF
 CHEWINGS RED FESCUE @ 1.0 LBS/1,000 SF
 CREEPING RED FESCUE @ 1.0 LBS/1,000 SF
 KENTUCKY BLUEGRASS @ 2.5 LBS/1,000 SF
 MULCHING: REQUIRED ON ALL DISTURBED AREAS
 MULCH: UNROTTED HAY @90-115LBS/1000 SF
 TO BE TACKED WITH LATEX BINDER @.04 GAL/SY



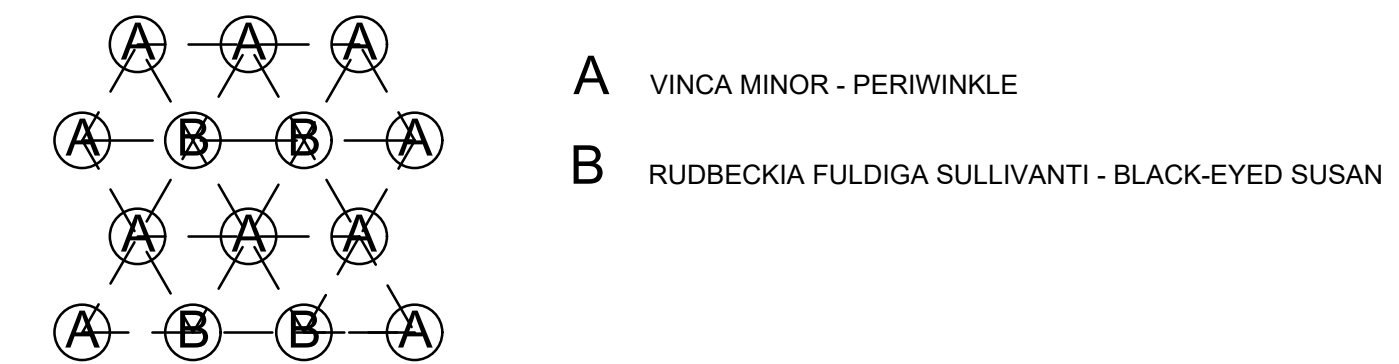
2 TYPICAL SHRUB PLANTING DETAIL NTS



5 PLANTING MIX #1 DETAIL NTS



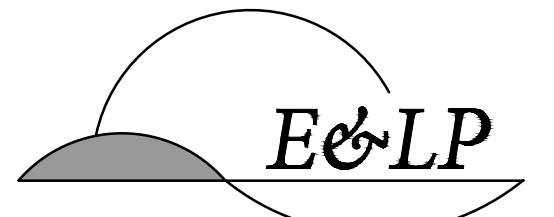
3 TYPICAL LANDSCAPE BED EDGE NTS



6 PLANTING MIX #2 DETAIL NTS

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 WAYNE J. INGRAM
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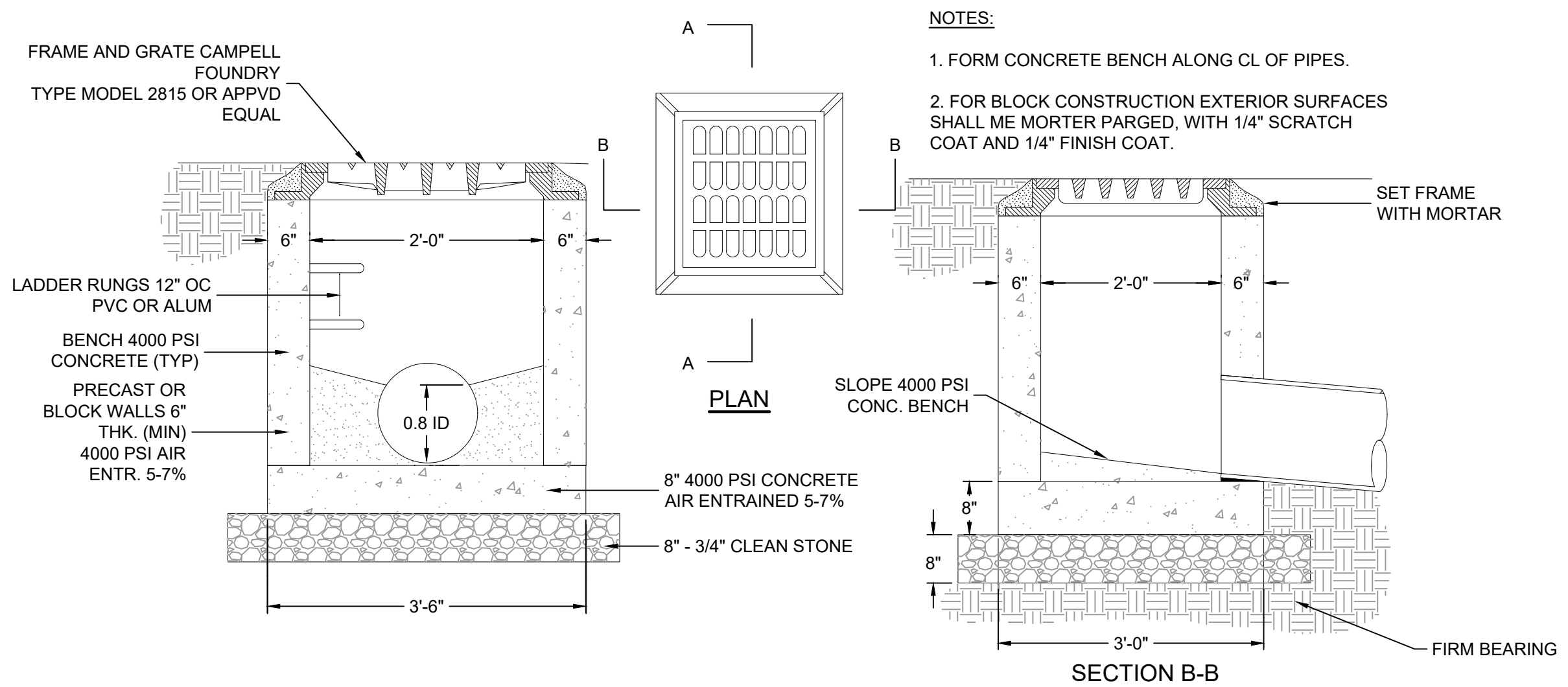
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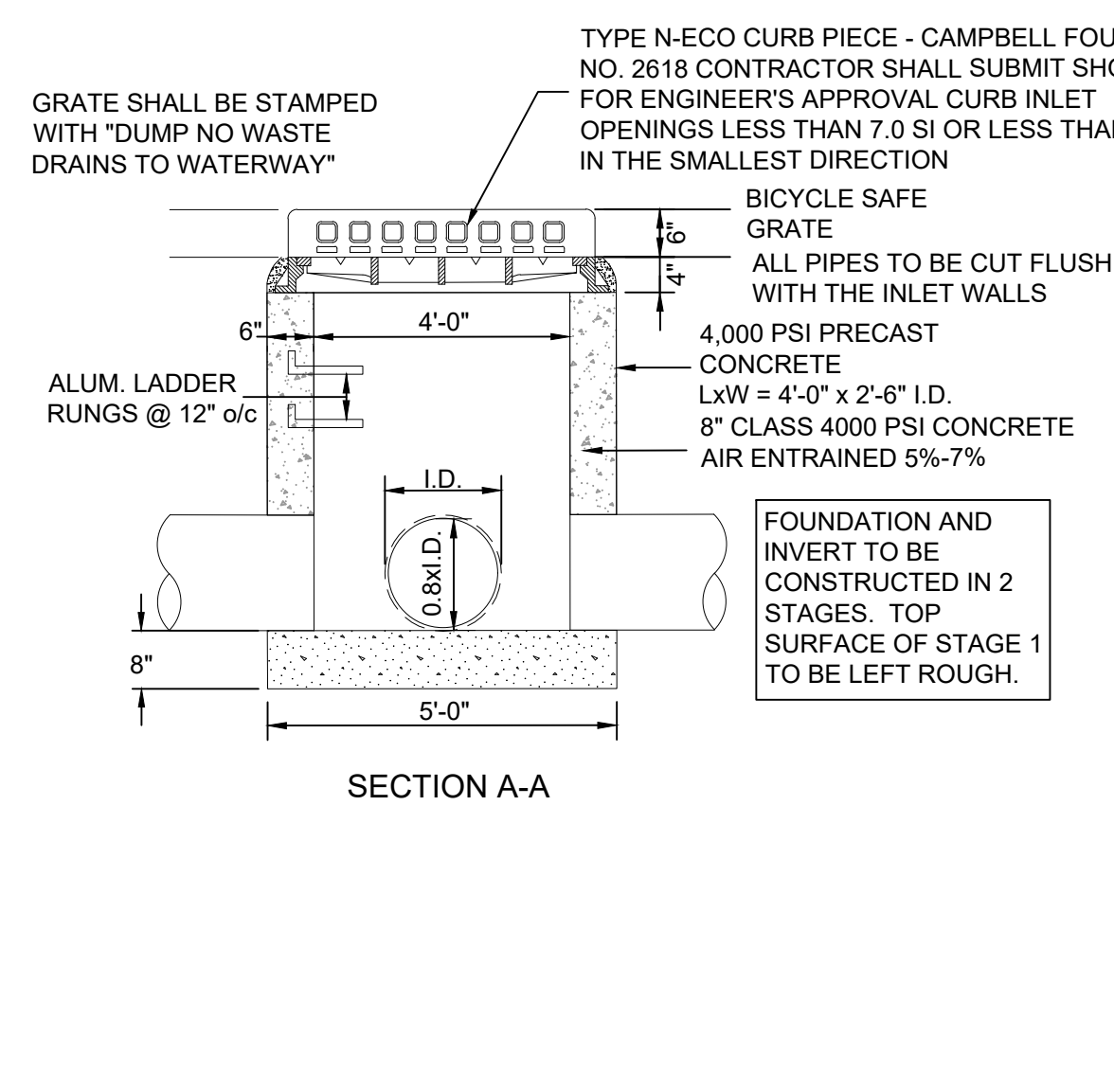
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CONSTRUCTION DETAILS

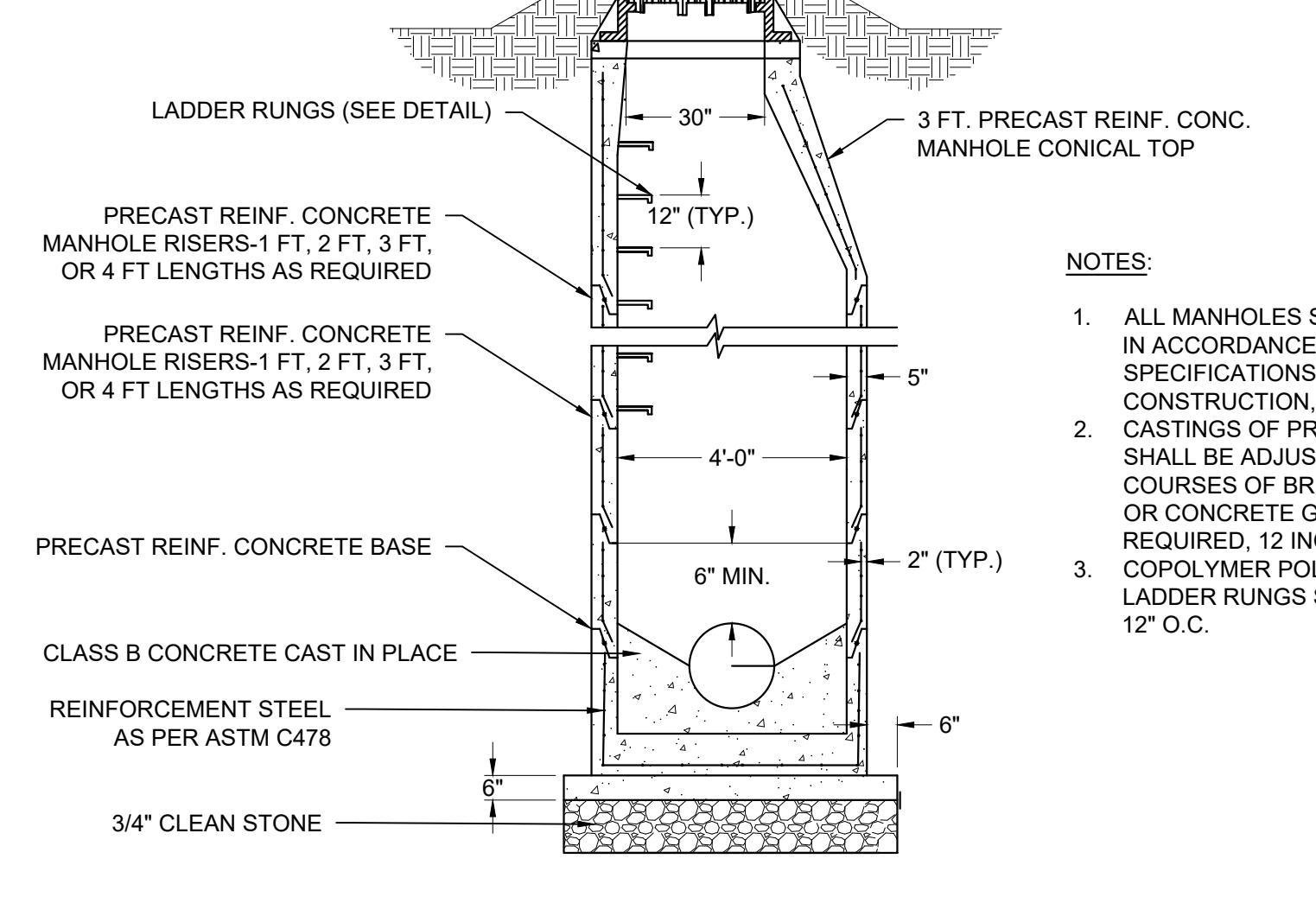
JOB NO.:	0120281	DRAWING NO.:	13
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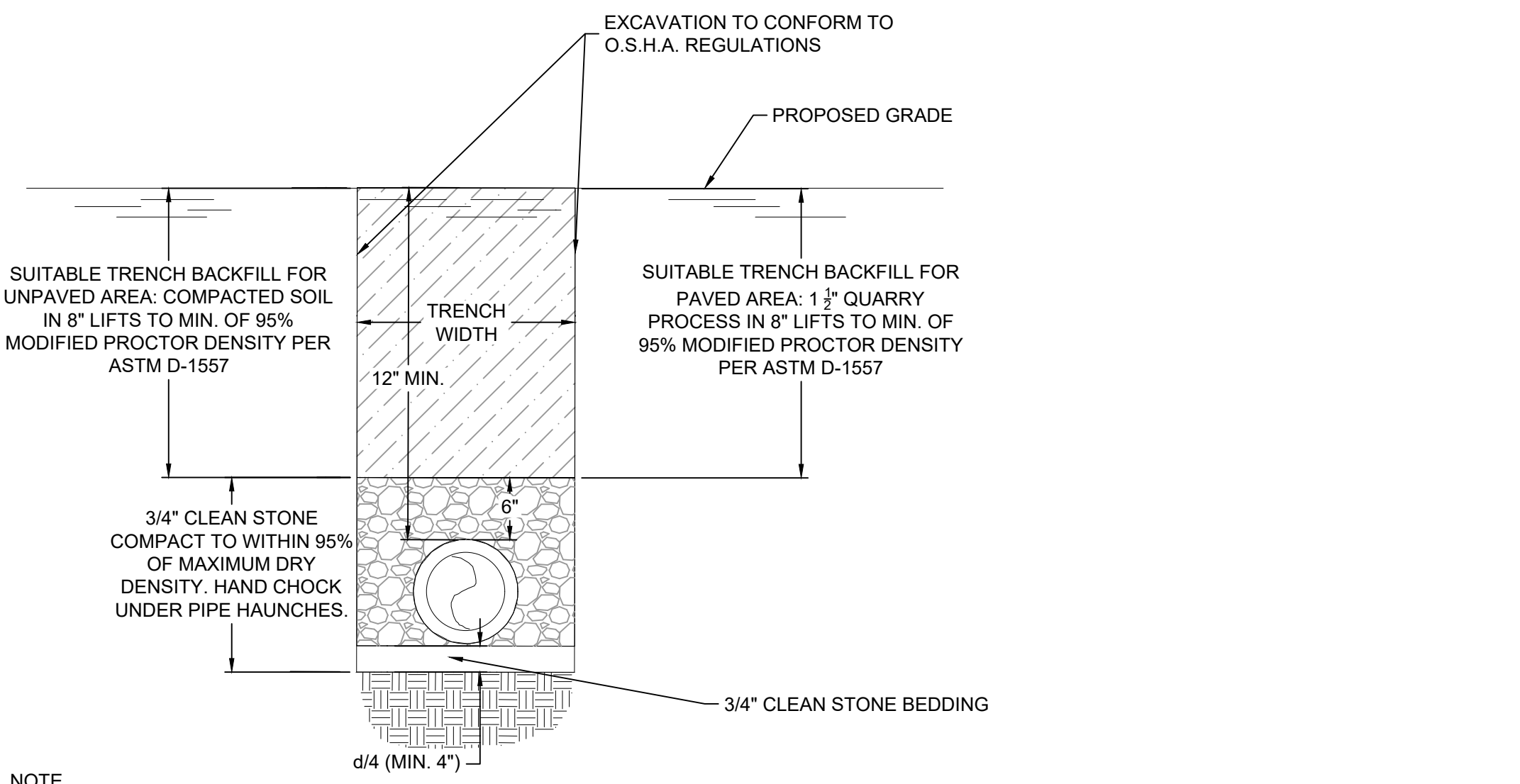
1 PRECAST STANDARD A-INLET NTS



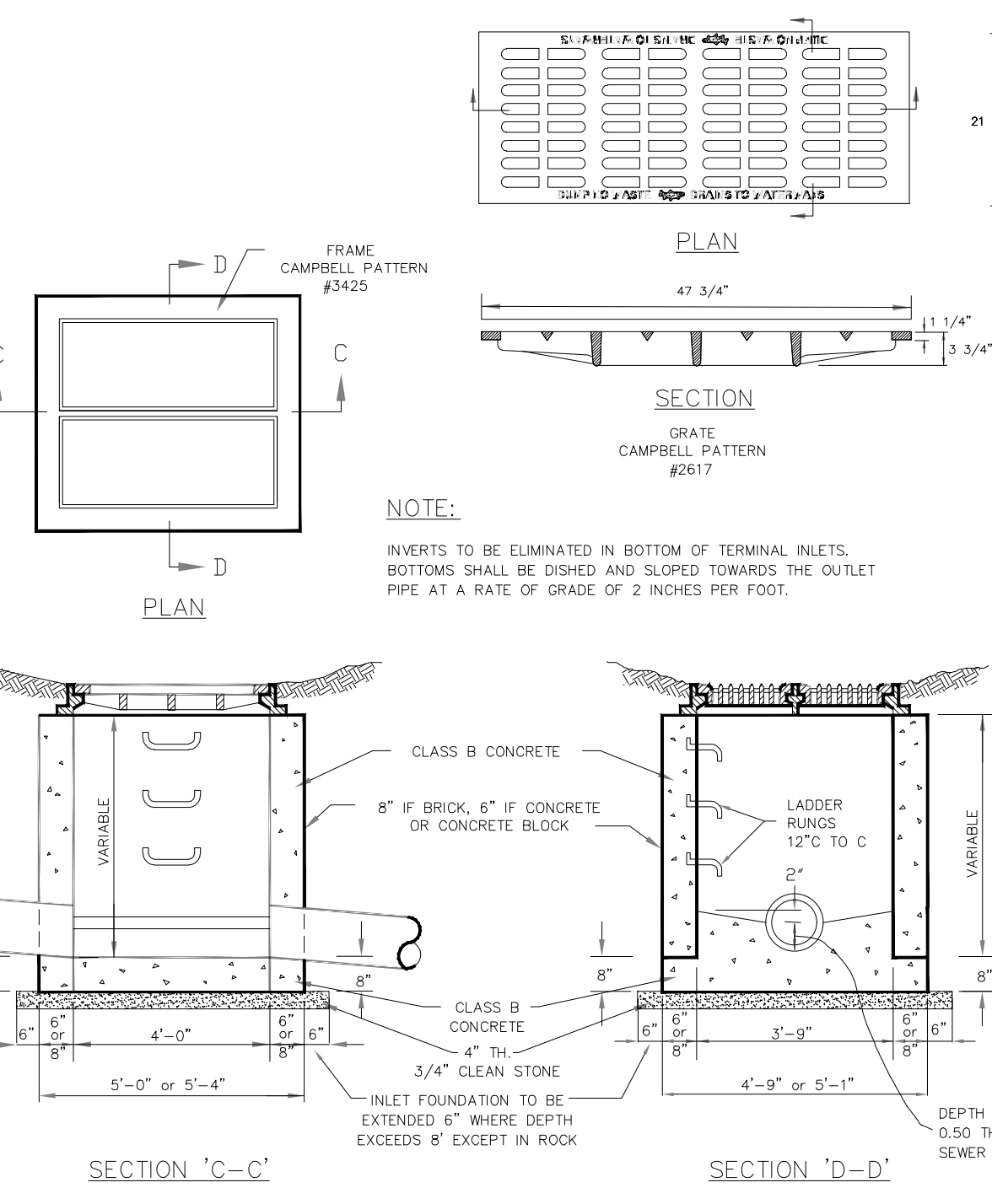
2 PRECAST STANDARD B-INLET NTS



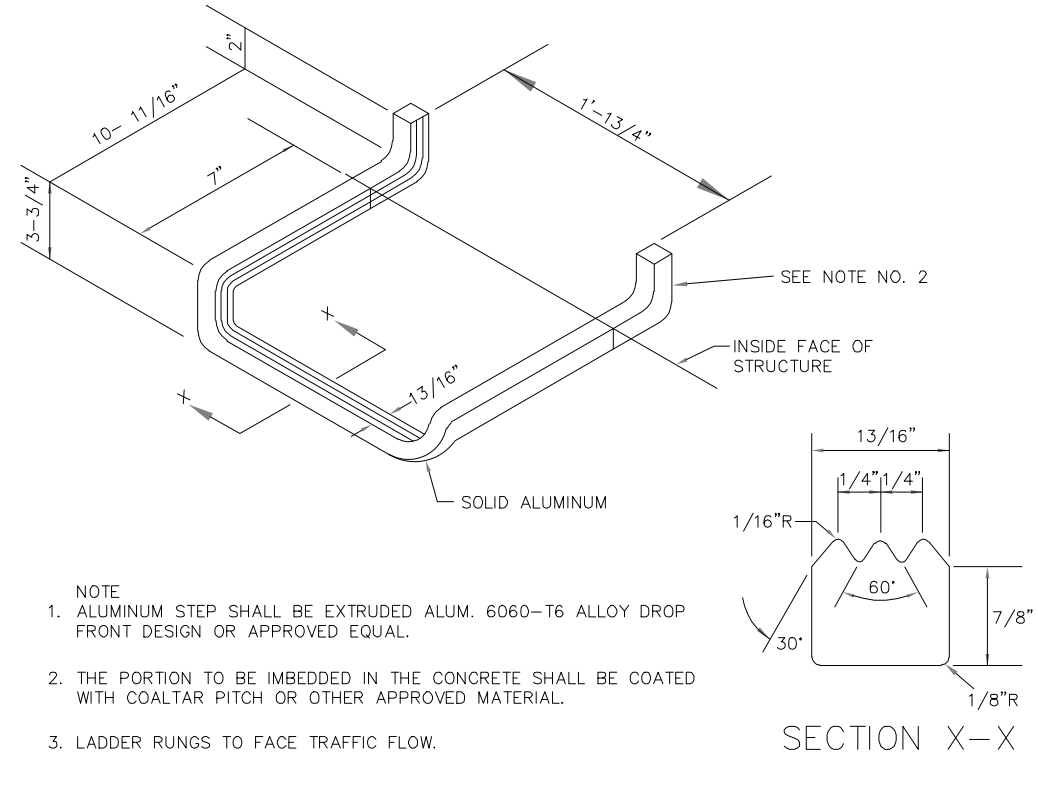
3 PRECAST STANDARD STORM MANHOLE NTS



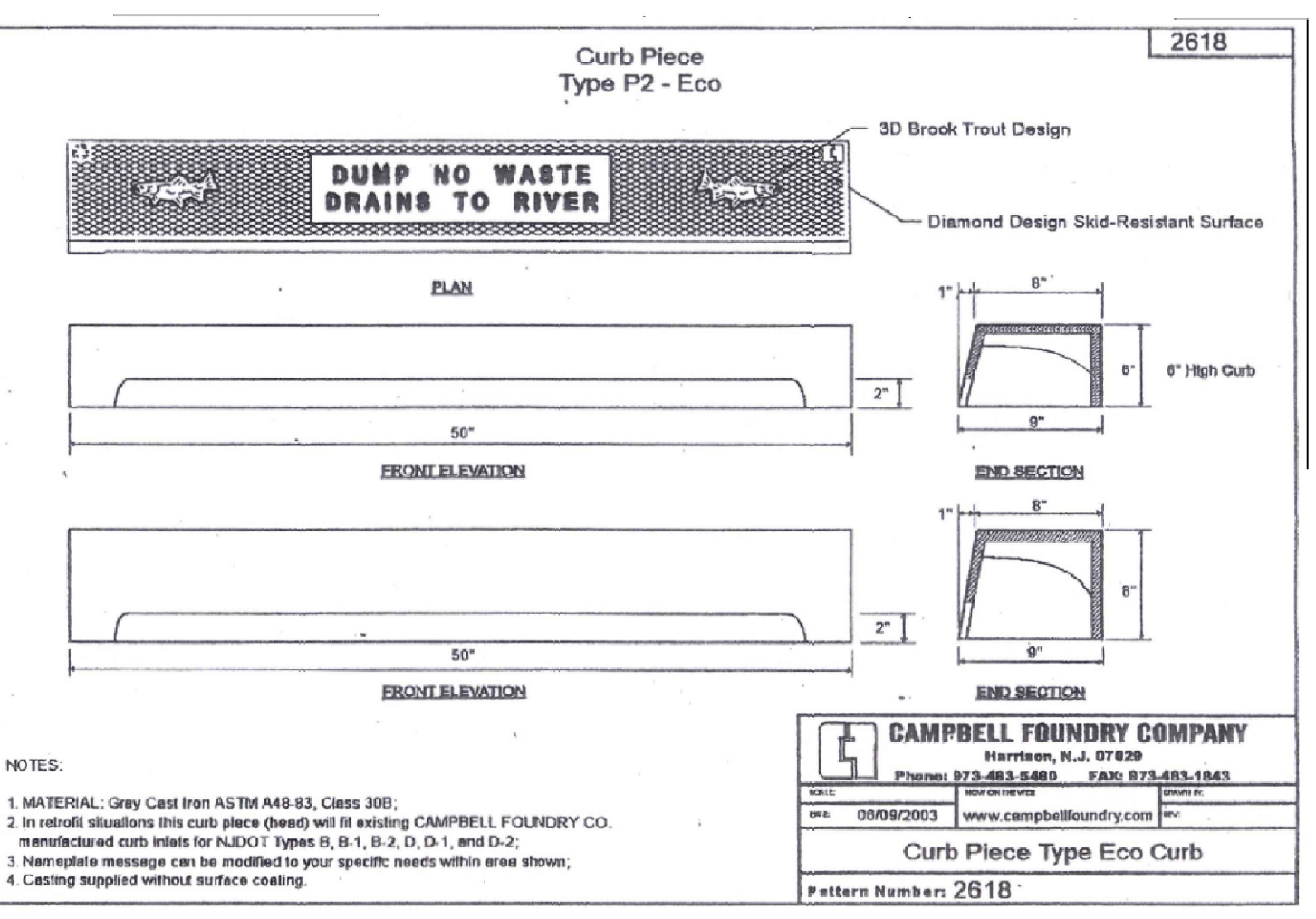
4 TYPICAL TRENCH DETAIL FOR STORM PIPE NTS



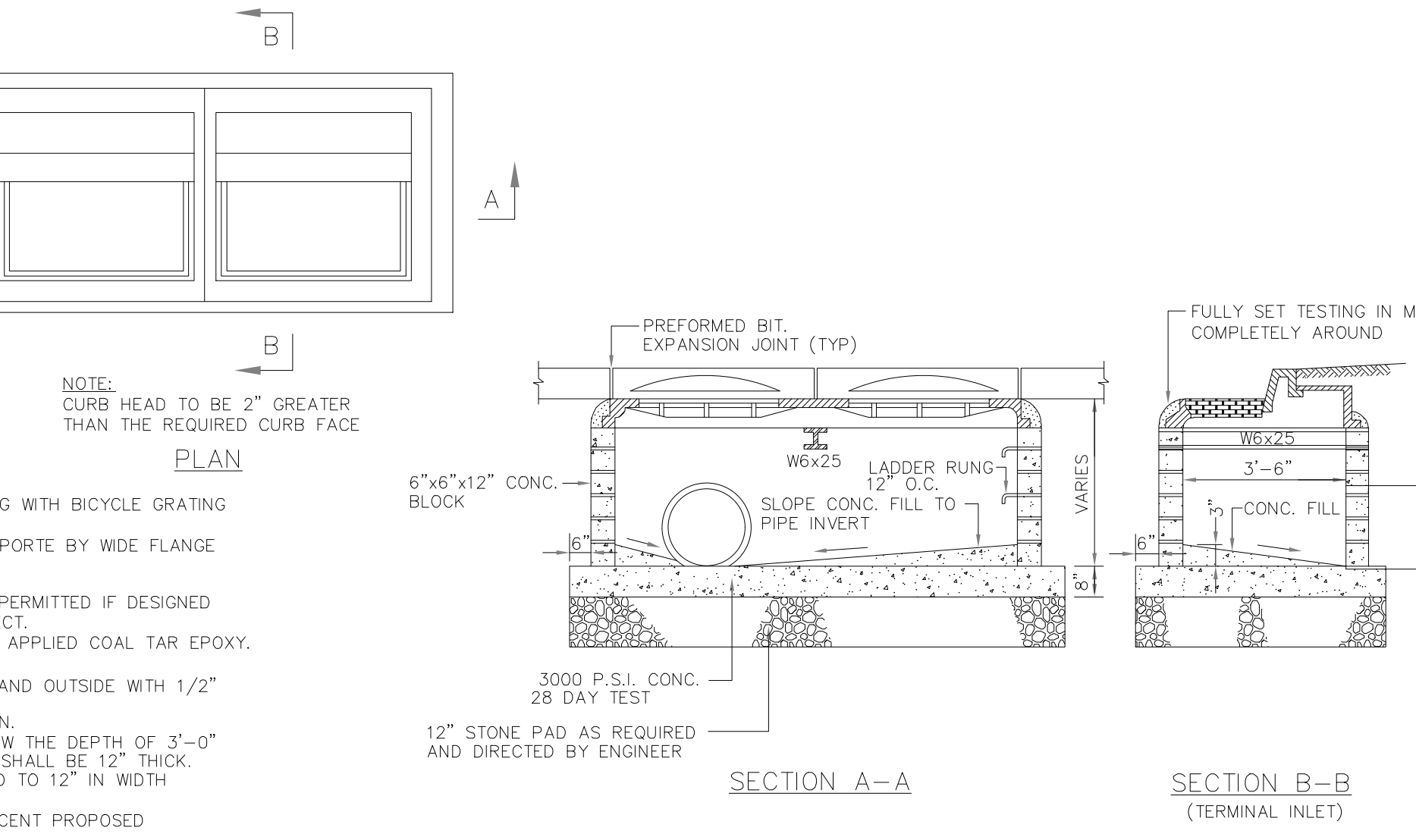
5 PRECAST STANDARD E-INLET NTS



6 LADDER RUNG DETAIL NTS



7 CURB PIECE DETAIL NTS



8 DOUBLE B-INLET DETAIL NTS

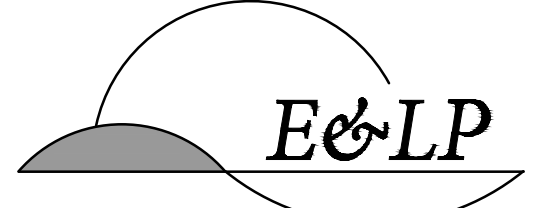
NOTES:
 1. FORM CONCRETE BENCH ALONG CL OF PIPES.
 2. FOR BLOCK CONSTRUCTION EXTERIOR SURFACES SHALL ME MORTAR PARGED, WITH 1/4" SCRATCH COAT AND 1/4" FINISH COAT.

TYPE N-ECO CURB PIECE - CAMPBELL FOUNDRY NO. 2618 CONTRACTOR SHALL SUBMIT SHOP DWG FOR ENGINEER'S APPROVAL. CURB INLET OPENINGS LESS THAN 7.0 SI OR LESS THAN 2.0 IN IN THE SMALLEST DIRECTION

NOTES:
 1. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND ITS AMENDMENTS. CASTINGS OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, CONCRETE BLOCK, OR CONCRETE GRADING RINGS AS REQUIRED. 12 INCHES MAXIMUM.
 2. COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS SHALL BE INSTALLED AT 12" O.C.
 3. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND ITS AMENDMENTS. CASTINGS OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, CONCRETE BLOCK, OR CONCRETE GRADING RINGS AS REQUIRED. 12 INCHES MAXIMUM.
 4. COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS SHALL BE INSTALLED AT 12" O.C.

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE
2	REVISED PER DRAINAGE CHANGES	EAJ	6/11/2021
1	REVISED TO INCLUDE PHASING PLAN	KFO	1/26/21

6/11/2021 DATE
 WAYNE J. INGRAM
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GB04258200

PROJECT:
 ANSUYA ENTERPRISE OF CLINTON, LLC
 & ANSUYA RIVERBEND, LLC
 BLOCK 17 LOT 2 &
 BLOCK 18 LOTS 2.03, 2.04, & 6
 TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:
 CONSTRUCTION DETAILS

JOB NO.: 0120281 DRAWING NO.:

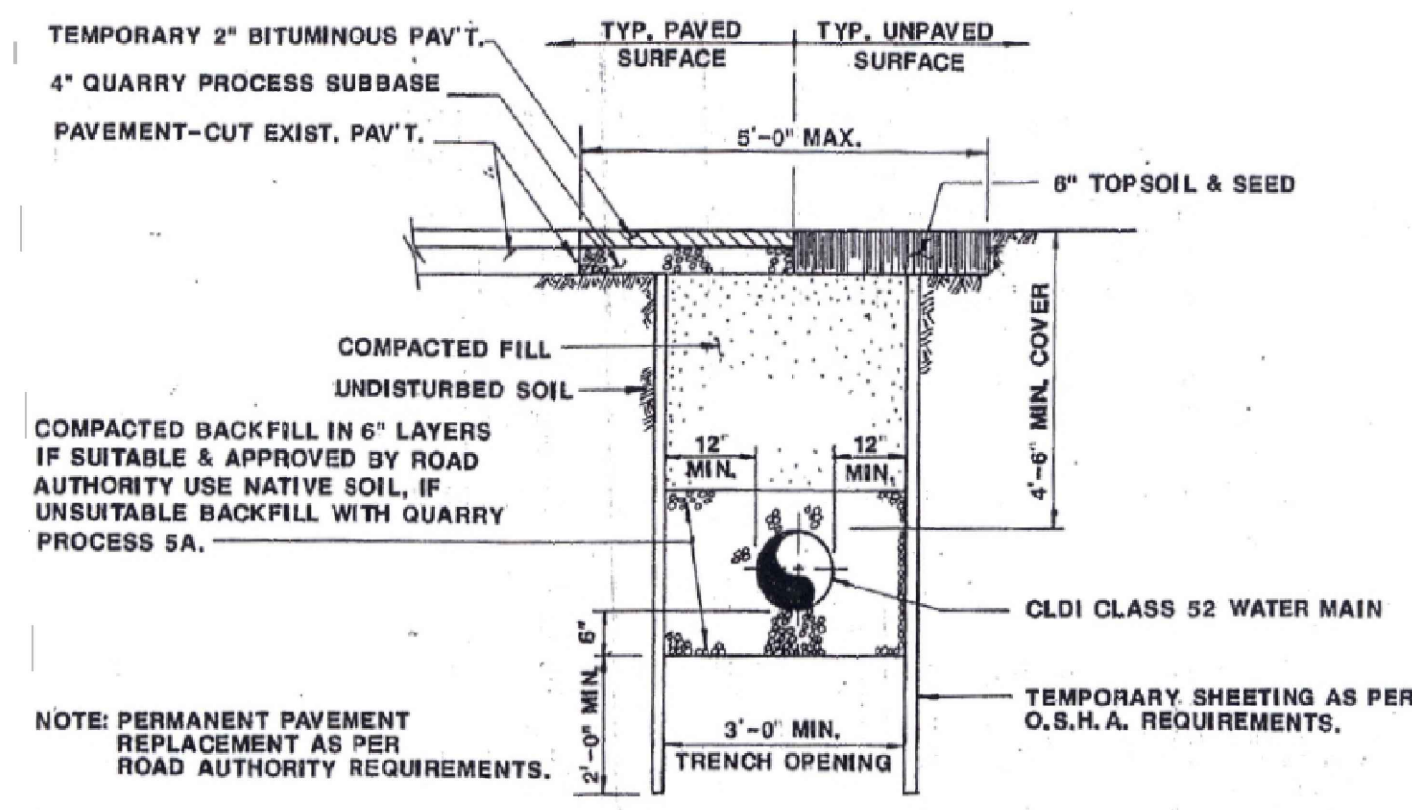
SCALE: AS SHOWN

DESIGNED: EJ

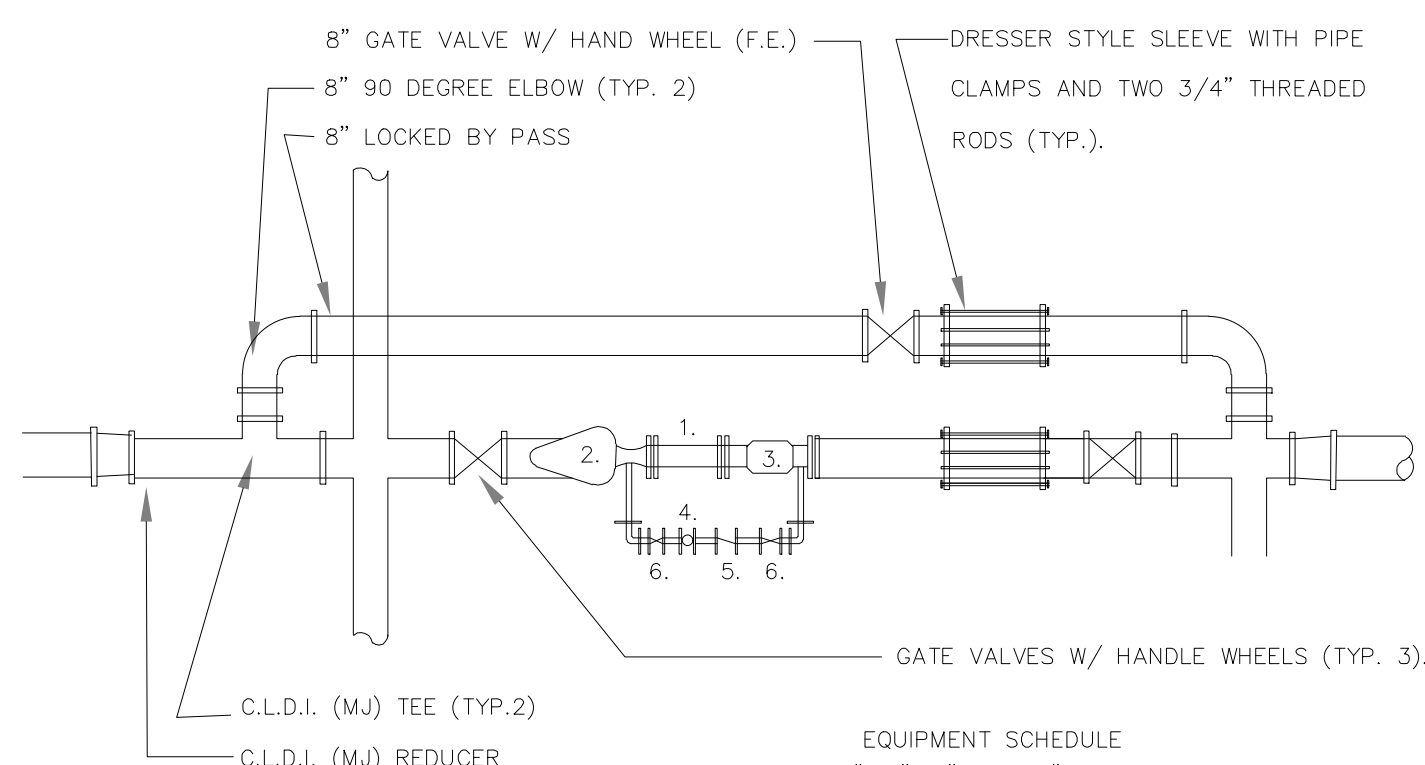
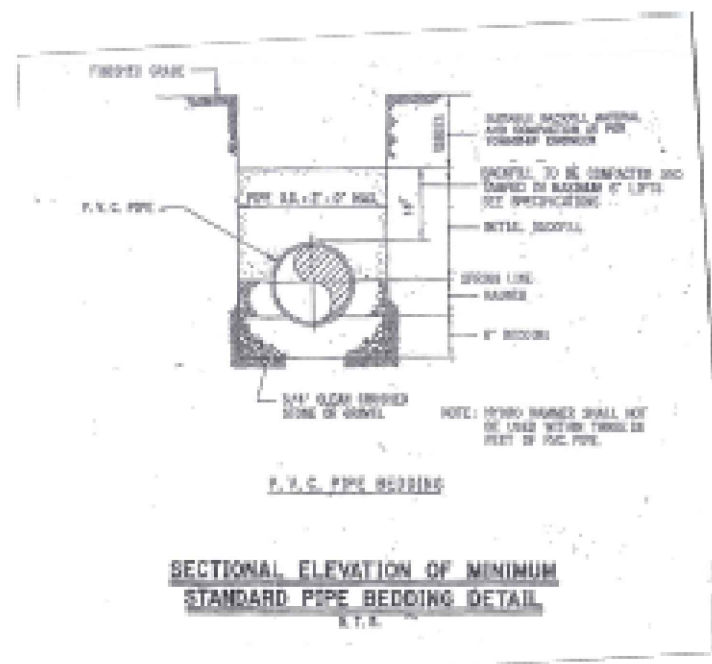
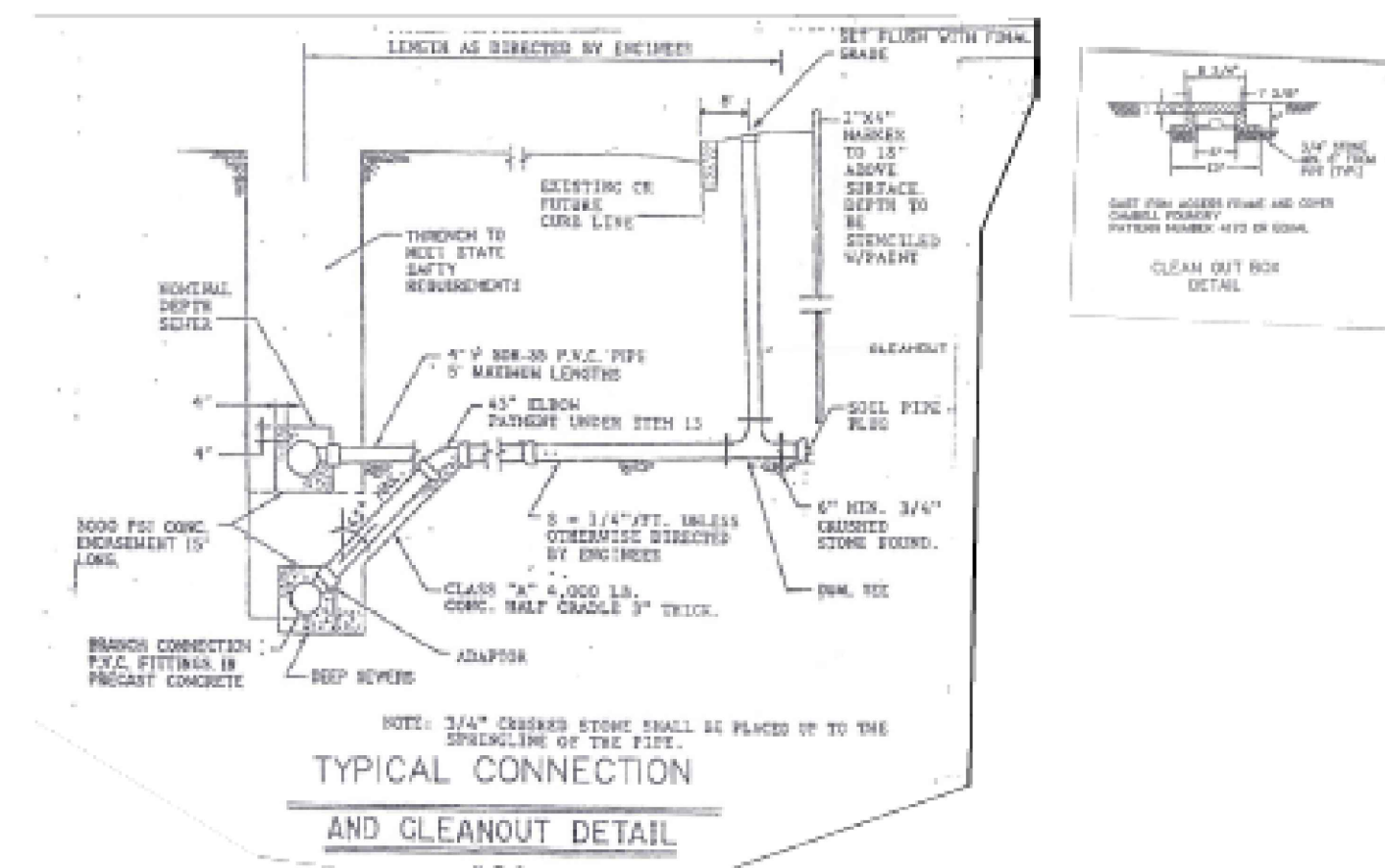
CHECKED: KFO

FILENAME: XX-DETAILS.DWG

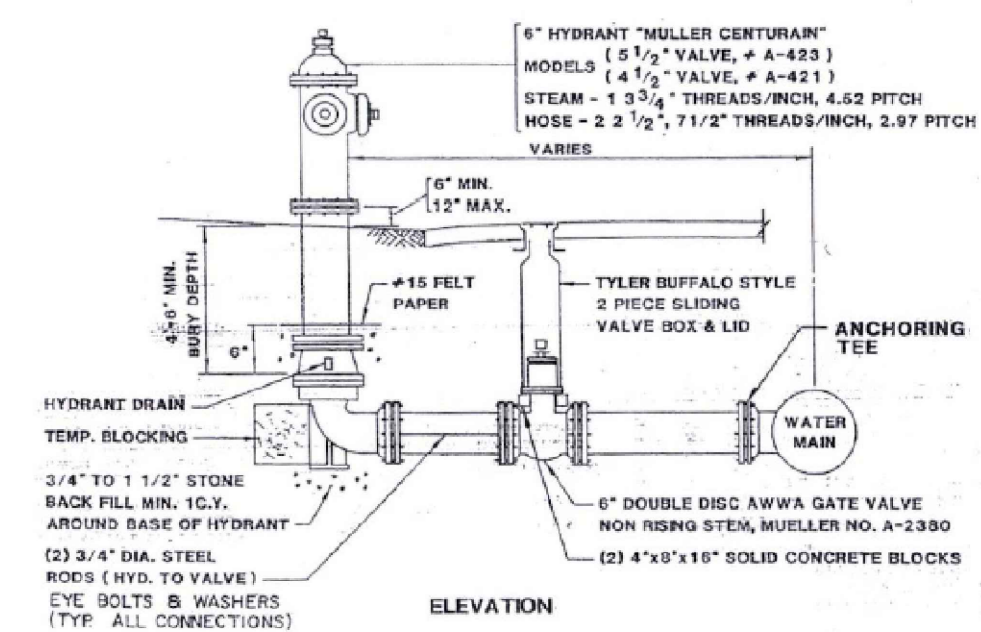
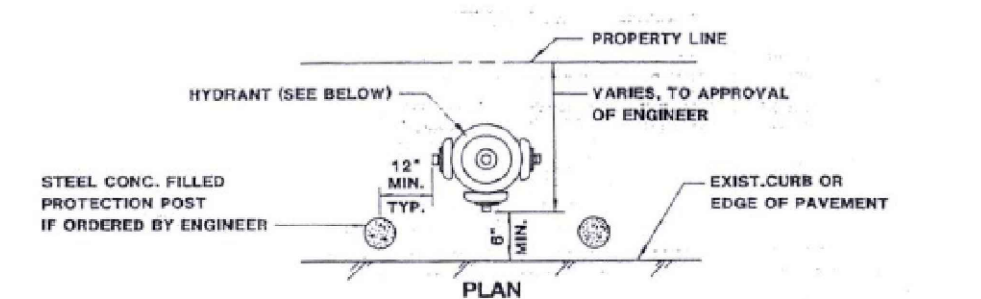
DATE: 12/11/2020



TOWN OF CLINTON WATER MAIN TRENCH DETAIL
N.T.S.



WATER METER DETAIL (INTERNAL TO BUILDINGS)
N.T.S.



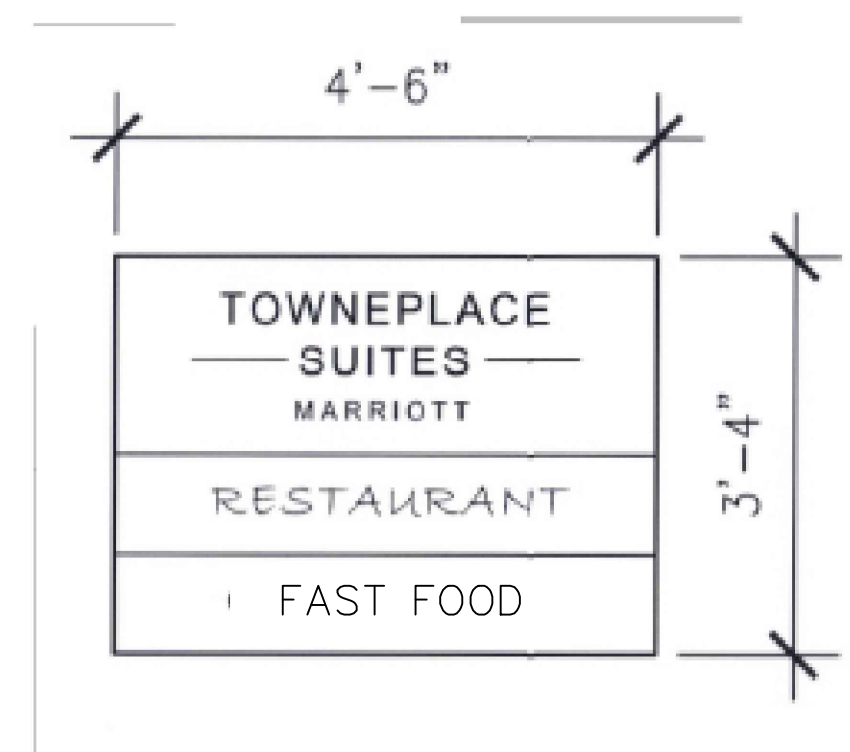
TOWN OF CLINTON HYDRANT DETAIL
N.T.S.



AREA: 78 SF

NOTE: FOUNDATIONS TO BE PROVIDED AT TIME OF BUILDING PERMIT

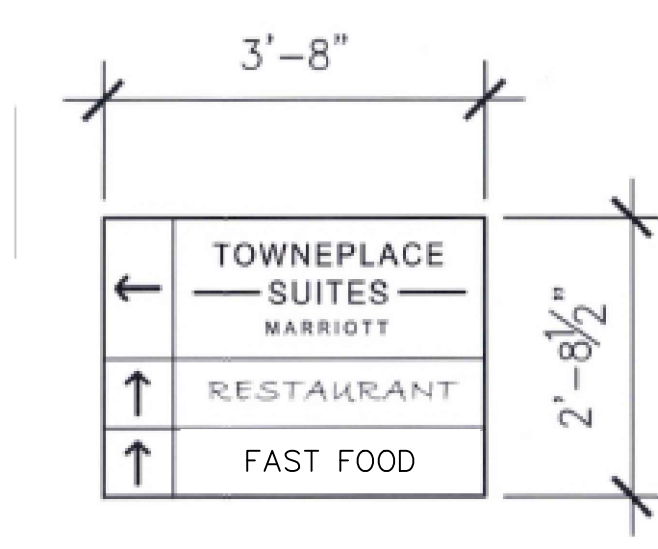
1 PROJECT SIGN, INTERNALLY ILLUMINATED
N.T.S.



AREA: 15 SF

NOTE: FOUNDATIONS TO BE PROVIDED AT TIME OF BUILDING PERMIT

2 DIRECTIONAL SIGN, INTERNALLY ILLUMINATED
N.T.S.



AREA: 10 SF

NOTE: FOUNDATIONS TO BE PROVIDED AT TIME OF BUILDING PERMIT

3 DIRECTIONAL SIGN INTERNALLY ILLUMINATED
N.T.S.

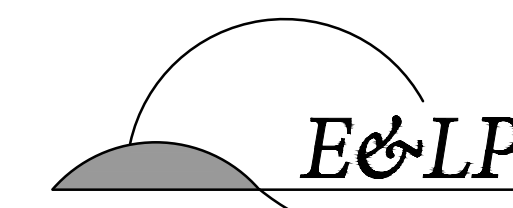
- 4 SEE ARCHITECTURAL DRAWINGS FOR FACADE MOUNTED HOTEL SIGN
- 5 SEE ARCHITECTURAL DRAWINGS FOR FACADE MOUNTED RESTAURANT SIGN

SIGN DETAILS
N.T.S.

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BLOCK 18 LOTS 2.03, 2.04, & 6
TOWN OF CLINTON

HUNTERDON COUNTY NEW JERSEY

TITLE:

CONSTRUCTION DETAILS

JOB NO.:	0120281	DRAWING NO.:	15
SCALE:	AS SHOWN		
DESIGNED:	EJ		
CHECKED:	KFO		
FILENAME:	XX-DETAILS.DWG		
DATE:	12/11/2020		