

PRELIMINARY AND FINAL SITE PLAN

FOR

OLD 22 URBAN RENEWAL ASSOCIATES, LLC PROPOSED MIXED-USE DEVELOPMENT

BLOCK 21, LOTS 29, 30.01, & 31-33; TAX MAP SHEET #3&4 - LATEST REV. DATED 01/01/2013
49 NJSH ROUTE 173 (OLD HIGHWAY 22)

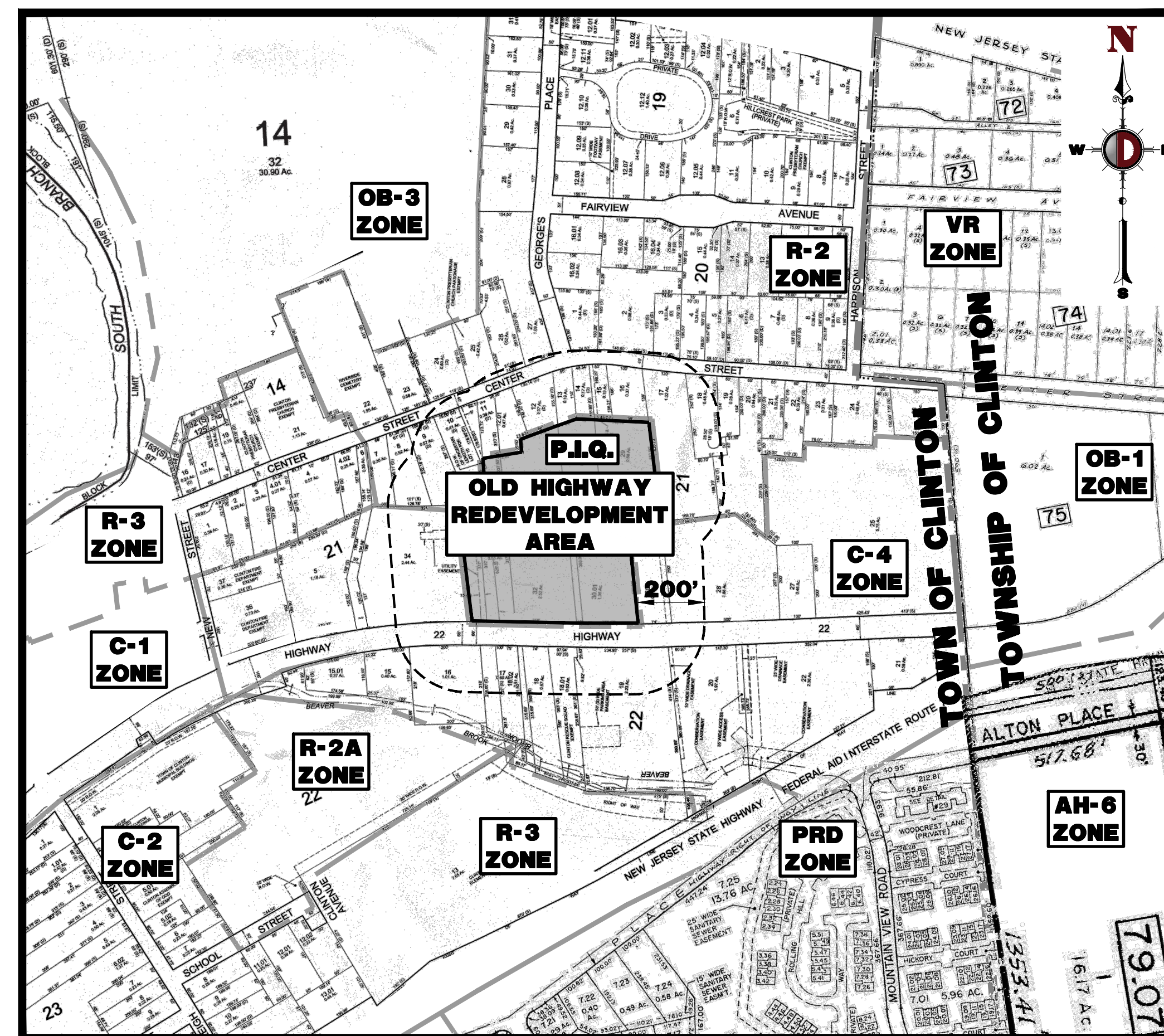
TOWN OF CLINTON

HUNTERDON COUNTY, NEW JERSEY

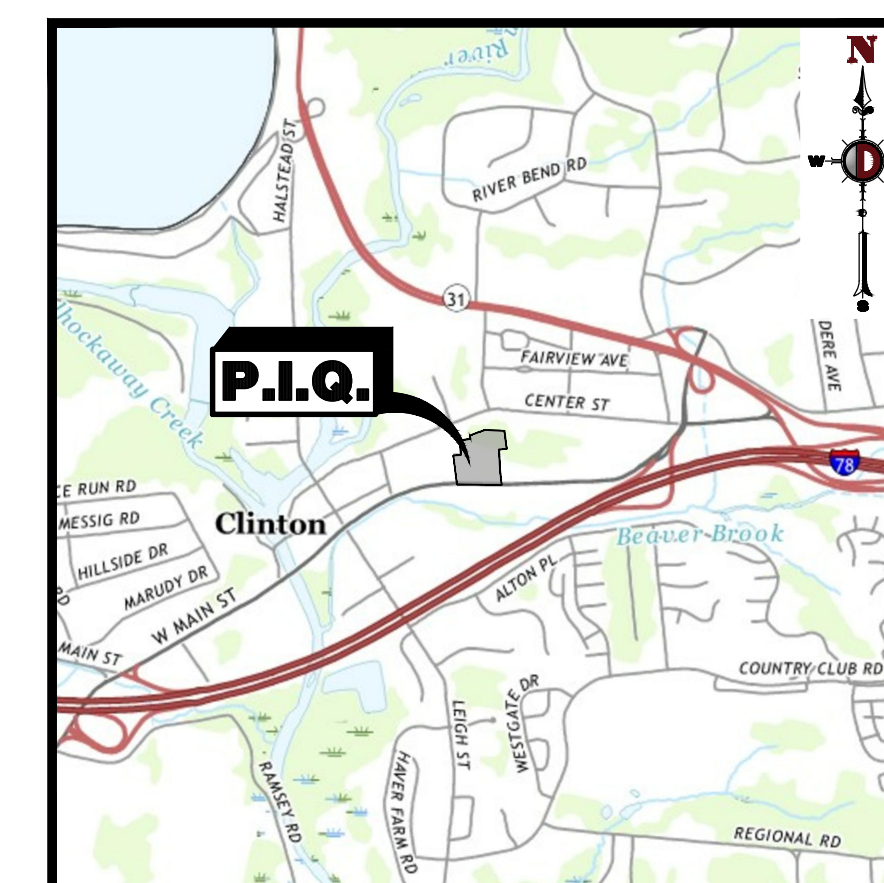


200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
JOHN W & CATHERINE WOOD 101 CENTER STREET CLINTON, NJ 08809	14	24	SUMMIT FEDERAL C/O INVESTORS SAVINGS 101 3RD PARKWAY SHORT HILLS, NJ 08809	21	28
CLINTON PRESBYTERIAN CHURCH 91 CENTER STREET CLINTON, NJ 08809	14	25	QUAKER CITY MOTR PRIS 2999 WILLOW PARKWAY ALANTA, GA 30329	21	30
PATRICK HELLBERG & AMY FREY 109 CENTER STREET CLINTON, NJ 08809	14	26	FACD REALTY LP C/O M LAZOWSKY 106 3RD AVENUE ALPHA, NJ 08805	21	34
MARGARET A & PENELOPE 111 CENTER STREET CLINTON, NJ 08809	14	27	WAGNER ASSOCIATED OF NEW JERSEY LLC 15 UNION ROAD CLINTON, NJ 08809	22	16
DAVID A & ERIN M MEE 117 CENTER STREET CLINTON, NJ 08809	20	1	DOUBLE STARTS REALTY 22 LLC 42-42 1/2 ROUTE 173 CLINTON, NJ 08809	22	17
ORAG D & KAREN L ROGERS 121 CENTER STREET CLINTON, NJ 08809	20	2	HANS JD LLC C/O RANDALL DAHME 41 LOWER KINGTOWN ROAD PITTSFORD, NJ 08867	22	18
DOUGLAS WILDRICK 125 CENTER STREET CLINTON, NJ 08809	20	3	CLINTON FIRST AID AND RESCUE SQUAD P.O. BOX 5025 CLINTON, NJ 08809	22	18.01
DONNA L LISH 129 CENTER STREET CLINTON, NJ 08809	20	4	DOMINICK & BARBARA TOMARO 340 MOUNTAIN VIEW ROAD ASBURY, NJ 08825	22	18.02
MICHAEL P & JILL M HERMANN 92 CENTER STREET CLINTON, NJ 08809	21	8	BANK OF AMERICA (N1-001-03-81) 191 N TYRON STREET CHARLOTTE, NC 28235	22	19
PATRICK & KATHRYN JUDITH MCQUIRE 94 CENTER STREET CLINTON, NJ 08809	21	9	GOLDSTAR PROPERTIES LLC P.O. BOX 100 FRENCHTOWN, NJ 08825	22	20
LOUIS & LISA PANARISE 100 CENTER STREET CLINTON, NJ 08809	21	10			
JEFFREY S & CHRISTINE G BERG 102 CENTER STREET CLINTON, NJ 08809	21	11	ALSO TO BE NOTIFIED CLINTON WATER DEPARTMENT ART GYSART TV, WATER SUPERINTENDENT P.O. BOX 5194 CLINTON, NJ 08809		
DEBRA LIGORANO 110 CENTER STREET CLINTON, NJ 08809	21	12	CLINTON SEWER DEPARTMENT BOB NEZOGGA, SUPERINTENDENT P.O. BOX 5194 CLINTON, NJ 08809		
ANTHONY P III & PAULA T KEARNS 108 CENTER STREET CLINTON, NJ 08809	21	12.01	COMCAST CONSTRUCTION COMPANY 50 RANDOLPH ROAD SUMMERSET, NJ 08873		
ERIN E & JULIE A THOMAS DEVIRES 114 CENTER STREET CLINTON, NJ 08809	21	13	JCP&L 300 MADISON AVENUE & PUNCH BOWL ROAD MORRISTOWN, NJ 07960		
SEAN MOOD & REILLY KARSH 116 CENTER STREET CLINTON, NJ 08809	21	14	ELIZABETHTOWN GAS CO 520 GREEN LANE LINDEN, NJ 07036		
ERIC & SHARON SIEW KNAPP 118 CENTER STREET CLINTON, NJ 08809	21	15	CENTURYLINK ENGINEERING DEPARTMENT 160 CENTER STREET CLINTON, NJ 08809		
HELEN GHOTES 650 PARK AVENUE, APT. 3C NEW YORK, NY 10065	21	16	AT&T 50 PATRICIA DRIVE FRANCONIA, NJ 07836		
CHRISTOPHER A & DEBORAH A BLAUS 106 CENTER STREET CLINTON, NJ 08809	21	17	STATE OF NEW JERSEY DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE CLINTON, NJ 08809		
TERENCE N & CAROL V THOMPSON 130 CENTER STREET CLINTON, NJ 08809	21	18	HUNTERDON COUNTY PLANNING BOARD 314 ROUTE 12 BUILDING #1, 1ST FLOOR P.O. BOX 400 FLEMINGTON, NJ 08822-2900		
PAMELA A HILL 132 CENTER STREET CLINTON, NJ 08809	21	19			
THOMAS D & PATRICIA A SMELTZER 134 CENTER STREET CLINTON, NJ 08809	21	20			



AREA MAP
1" = 300'



KEY MAP
1" = 2000'

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OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF BLOCK 21; LOT 29 AND CONSENT TO THE FILING OF THIS APPLICATION.

PROPERTY OWNER _____ DATE _____

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF BLOCK 21; LOTS 30.01, 31, 32, & 33 AND CONSENT TO THE FILING OF THIS APPLICATION.

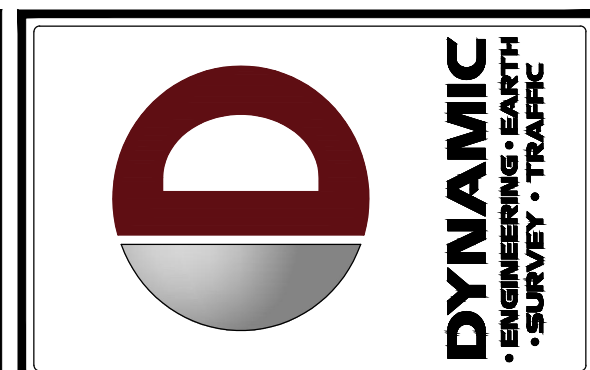
PROPERTY OWNER _____ DATE _____

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
245 MAIN STREET - SUITE 110
CHESTER, NJ 07930
WWW.DYNAMICCEC.COM



REV.	DATE	COMMENTS
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 21, LOTS 29, 30.01, & 31-33
49 NJSH ROUTE 173 (OLD HIGHWAY 22)
TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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BRETT W. SKAPINETZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41985

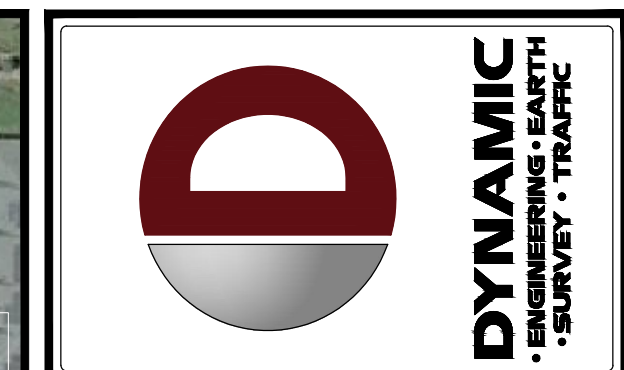
STEPHEN L. SCHWARTZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 48126

TITLE:
COVER SHEET

SCALE: (H) AS SHOWN
PROJECT No:
2362-99-007

SHEET No:
1
Rev. #:
OF 18 1

Plotted: 09/23/20 1:42 PM, By: swell
 File: P:\CEPC PROJECTS\2362 Ingerman 99-007 Clinton - Rr 173(Dwg)Site Plans\236299007SA1.dwg ----> 02_AERIAL_MAP



REV.	DATE	COMMENTS	BY
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS	SW

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DESIGNED BY: JED
 CHECKED BY: JMW
 DRAWN BY: SLS

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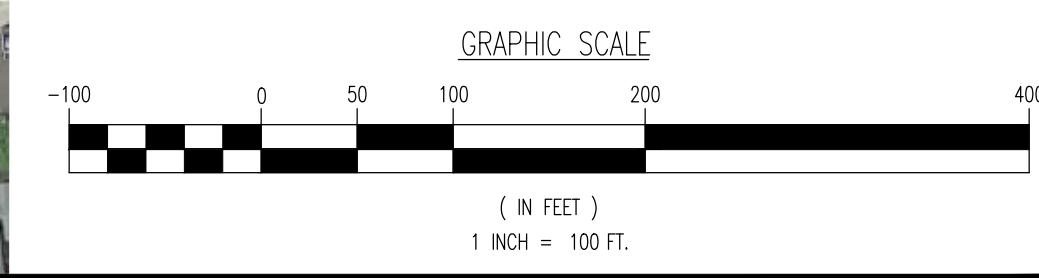
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 NEW JERSEY LICENSE No. 41985

STEPHEN L. SCHWARTZ
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TITLE:
AERIAL MAP

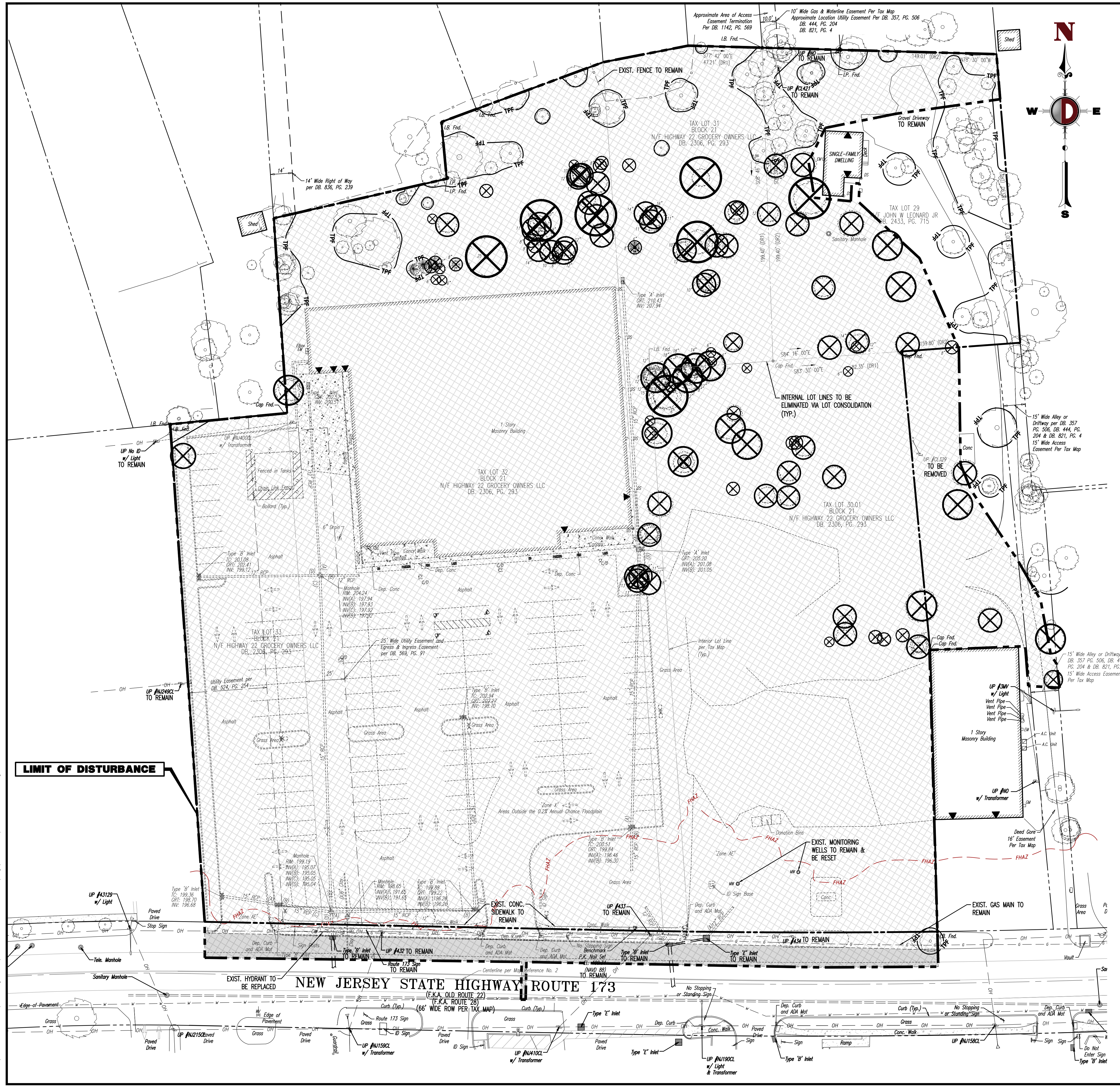
SCALE: (H) 1" = 30'
 (V) 1" = 100 FT.
 DATE: 08/13/2020
 PROJECT No: 2362-99-007

SHEET No: **2** Rev. #:
 OF 18 1



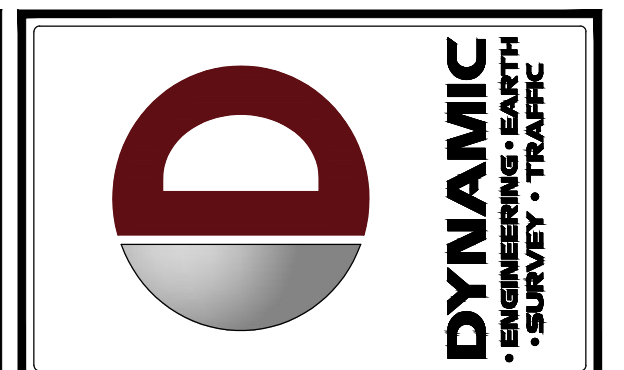
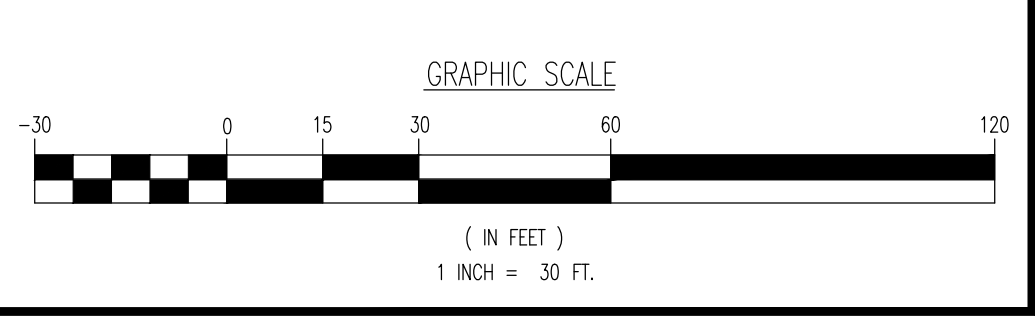
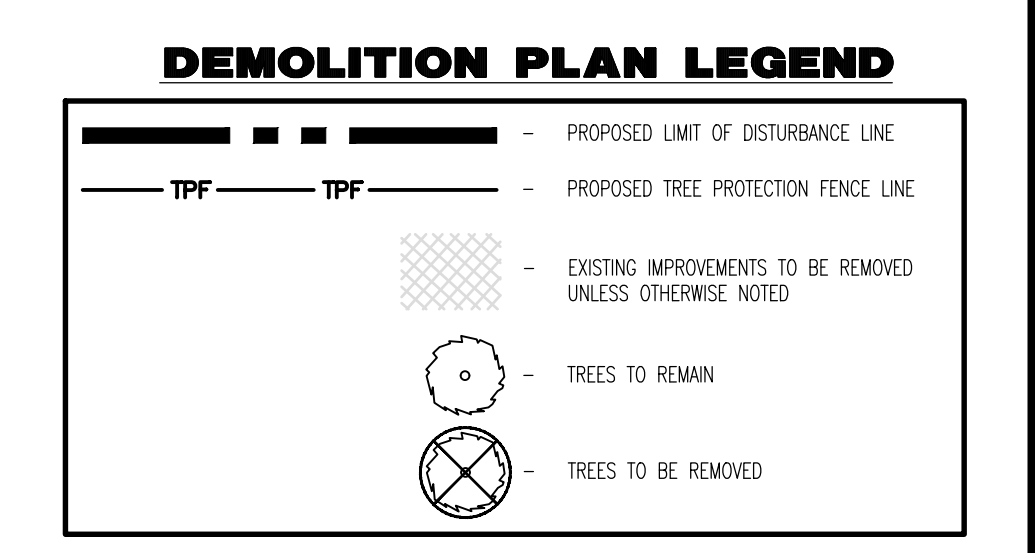
THE AERIAL MAPS DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 05/23/2018. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

Plotted: 09/23/2020 3:08 PM, By: awell
 File: P:\VEPC PROJECTS\3362 Ingerman - R1 173(Dwg)Site Plans\02362990075R1.dwg, ----> 03 DEMOLITION PLAN



- ### DEMOLITION NOTES
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 - COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
 - DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 - REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
 - BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
 - LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
 - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
 - DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED FINISH FLOOR OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
 - ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 - REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 - CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 - USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - COMPLETELY FILL BELOW GRADE AREAS AND Voids RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND. TREE FRUIT DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER, STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERLIE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURIED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 - DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERSECTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

- ### NOTES
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 - ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 - ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



REV.	DATE	COMMENTS
1	09/22/2020	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

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 NEW JERSEY LICENSE NO. 41985

STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 48126

TITLE: **DEMOLITION PLAN**

SCALE: (H) 1" = 30'
 (V) 1" = 30'

DATE: 08/13/2020

PROJECT No: 2362-99-007

SHEET No: **3** OF 18

TOWN-SPECIFIC NOTE:

1. ALL PROPOSED FIRE LANE AND FIRE ZONE AREAS SHALL BE IDENTIFIED AS PART OF THE LOCAL MUNICIPAL ORDINANCE AUTHORIZING LOCAL ENFORCEMENT OF THESE AREAS.

GENERAL NOTES

- THIS PLAN REFERENCE: ALTA/NGPS LAND TITLE SURVEY, DYNAMIC SURVEY, LLC, 1904 MAIN STREET, LAKE COMO, NJ 07179, PROJECT #: 2382-99-0075, DATED: 09/21/2019; LAST REVISED 09/22/20
- OWNER: BLOCK 21, LOTS 30.01, 31, 32, & 33, HIGHWAY 22 GROCERY OWNERS LLC, 471 GARDEN AVENUE, WEST FLORIDA, NEW YORK, NY 10001
- APPLICANT: OLD 22 URBAN RENEWAL ASSOCIATES, LLC, COLLINGSWOOD, NJ 08108
- PARCEL DATA: BLOCK 21, LOTS 29, 30.01, 31, 32 & 33, 49 N.J.S.H. ROUTE 173, HUNTERDON COUNTY, NJ, ZONE: OLD HIGHWAY REDEVELOPMENT AREA, USE: MIXED-USE DEVELOPMENT (PERMITTED)
- SCHEDULE OF ZONING REQUIREMENTS:

ZONE REQUIREMENT	OLD HIGHWAY REDEVELOPMENT AREA	EXISTING	PROPOSED
MIN. LOT AREA (MIXED-USE)	200,000 SF	5.64 AC (245,751 SF)	5.64 AC (245,751 SF)
MIN. YARD SETBACKS:			
- FRONT	30'	230.6'	82.2'
- SIDE	50'	15.9' (E)	74.3'
- REAR	50'	60.1'	52.0'
MIN. PARKING SETBACK:			
- RIGHT-OF-WAY	15'	18.1'	15.3'
- PROPERTY LINE	10'	10.6'	10.0'
MIN. BUILDING HEIGHT	2 STORIES	N/A	4 STORIES
MAX. BUILDING HEIGHT *	50.0/4 STORIES	N/A	48.58/4 STORIES
MAX. COVERAGE:			
- BUILDING	25%	11.9% (29,353 SF)	15.5% (38,178 SF)
- IMPERVIOUS	60%	45.6% (111,965 SF)	54.2% (133,306 SF)
MAX. FLOOR AREA RATIO (FAR)	0.85	0.13	0.59
MAX. NUMBER OF RESIDENTIAL UNITS	120	N/A	120
MIN. NON-RESIDENTIAL FLOOR AREA	6,000 SF	28,492 SF	6,500 SF
MIN. NUMBER OF PARKING STALLS:			
- RESIDENTIAL	1.5 SPACES/DU	N/A	180
- NON-RESIDENTIAL	1 SPACE/250 SF	137	28
- TOTAL	206	137	208
MIN. PARKING STALL DIMENSIONS	9'X18'	10'X18'	9'X18'
MIN. AISLE WIDTH (TWO-WAY)	24'	24'	24'

- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (D): DEVIATION * REFER TO ARCHITECTURAL PLANS FOR BUILDING HEIGHT CALCULATIONS AND GRADING PLAN (SHEET 5) FOR AVERAGE GRADE CALCULATIONS.
- LANDSCAPE REQUIREMENTS: OLD HIGHWAY REDEVELOPMENT PLAN (OHRP) [OHRP-E.10] A LANDSCAPE BUFFER CONSISTING OF A MINIMUM 50' SHALL BE PROVIDED ALONG THE REAR AND NORTHERNMOST PORTION OF THE AREA TO BE REDEVELOPED. SAID BUFFER SHALL CONSIST OF A MIX OF EXISTING VEGETATION WHICH IS TO BE RETAINED TO THE MAXIMUM EXTENT PRACTICAL, AS WELL AS EVERGREEN TREES TO PROVIDE A VISUAL BARRIER TO RESIDENTIAL HOMES LOCATED ALONG CENTER STREET. (COMPLIES)
- [OHRP-F.3.1] ALL LANDSCAPE AREAS SHALL BE DEFINED AS PLANTING BEDS DRESSED WITH MULCH OR OTHER SUITABLE GROUND COVER. (COMPLIES)
- [OHRP-F.3.2] MULCHED LANDSCAPE AREAS SHALL BE IRRIGATED. (COMPLIES)
- [OHRP-F.3.3] STREET TREES SHALL BE PROVIDED OUTSIDE THE RIGHT-OF-WAY AND IN AREAS WHERE THEY WILL NOT INTERFERE WITH OVERHEAD UTILITY WIRES. STREET TREES SHALL BE PROVIDED AT A RATE OF 1 TREE PER 40' OF FRONTAGE AND SHALL BE LOCATED NO CLOSER THAN 30' NOR MORE THAN 50' FROM ANY OTHER STREET TREE. 1 TREE/40' X 2 1/2" DBH @ 15' HEIGHT. 12 TREES PROPOSED (COMPLIES)
- [OHRP-F.3.4] LANDSCAPE ISLANDS WITHIN PARKING AREAS SHALL INCLUDE EITHER AN ORNAMENTAL OR SHADE TREE AND GROUND COVER PLANTINGS. (COMPLIES)
- [OHRP-F.3.5] IN AREAS WHERE PARKING STALLS FACE ADJACENT PROPERTIES OR THE STREET, OR WHERE PARKING AREAS ARE VISIBLE FROM THE STREET, HEDGES CONSISTING OF EVERGREEN PLANT MATERIAL A MIN. OF 3' IN HEIGHT AS NOT PLANTING SHALL BE INSTALLED. (COMPLIES)
- [OHRP-F.3.6] ALL BUILDINGS SHALL INCLUDE FOUNDATION PLANTINGS CONSISTING OF A MIX OF EVERGREEN AND DECIDUOUS SHRUBS, GRASSES AND PERENNIALS AND ANNUAL FLOWERS. A MULCHED LANDSCAPE BED MAX. OF 3' IN WIDTH SHALL BE PROVIDED AROUND THE PERIMETER OF THE BUILDING. (COMPLIES)
- [OHRP-F.3.7] SHADE TREES SHALL BE PROVIDED AT A RATE OF 4 SHADE TREES PER ACRE. 4 TREES X 5.64 ACRES = 23 TREES REQUIRED; 55 TREES PROPOSED (COMPLIES)
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSIONS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN, TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSIONS.
- FROM STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. TO THE SOLE REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR ERRORS SHOWN INCONSPICUOUSLY ON THESE PLANS WHICH THE CONTRACTOR HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND REMOVAL OF ALL UNDERGROUND UTILITIES, PIPES, MANHOLES, ETC.
- ALL EXCAVATED UNSUITABLE MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHIELDING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST HAVE THEIR COPIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO COVER THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH COPIES OF CERTIFICATES OF INSURANCE AS EVIDENCE, AND TO MAINTAIN SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL BE REQUIRED TO HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS INCLUDING ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY MANNER CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITY OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C., AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDICATED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICY OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. REVIEW AND APPROVE OF TAKE OTHER AFFECTING ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA WHICH IS REQUIRED TO SUBMIT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFICIENCIES, DELAYS OR DAMAGES ARISING FROM SUCH REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEFICIENCIES OR DAMAGES BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- AN EFFORT TO RESOLVE ANY DISCREPANCY DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO BINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL SUBCONTRACTORS AND CONSULTANTS AND CONSULTANTS TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS. SUBCONTRACTORS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL SUCH AGREEMENTS.
- THE CONTRACTOR DEVIATES FROM THESE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FROM SUCH DEVIATIONS FROM THE OWNER AND ENGINEER. IF SUCH DEVIATIONS ARE NECESSARY TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS, IF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STOPPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SPANNADE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR KNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PENETRATION AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER HAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN, AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE DRIVE MUST COMPLY WITH ADA 503.2 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE.
- ALL PROPOSED CURB RADIUS ARE R4' UNLESS OTHERWISE NOTED.

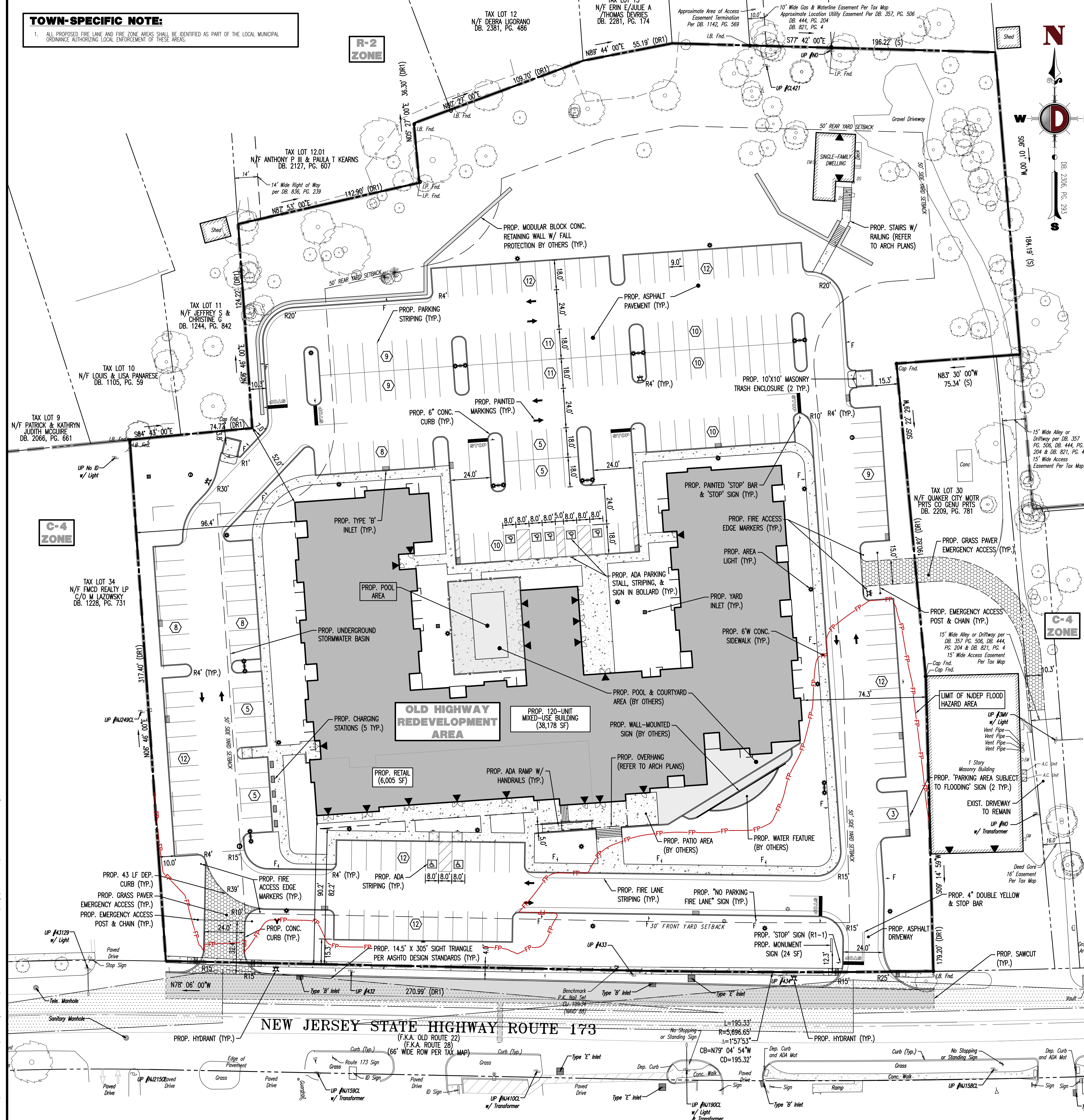
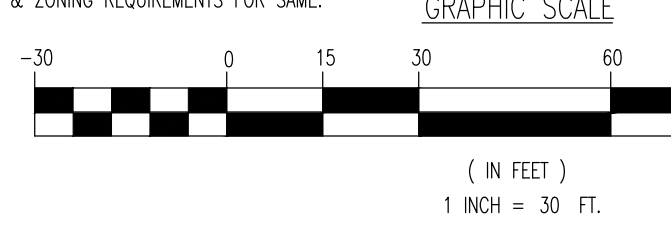
HIGHLANDS IMPERVIOUS SURFACE CALCULATIONS:

EXISTING *	= 136,518 SF (55.6%)
PROPOSED *	= 136,365 SF (55.5%)
REDUCTION	= 153 SF

SIGNAGE CHART

SIGN	REQUIREMENTS	PROPOSED
GROUND SIGNS	NUMBER OF SIGNS:	ONE (1)
	MAX. SIGN AREA:	36 SF
MAX. SIGN HEIGHT:	6'	6'
	MAX. SIGN WIDTH:	6'
MIN. SIGN SETBACK (PROPERTY LINE):	10'	12.3'
	MIN. SIGN SETBACK (STREET INTERSECTION):	50'
MAX. CLEARANCE:	3'	N/A

N/S: NO STANDARD N/A: NOT APPLICABLE (V): VARIANCE
 * ONE GROUND SIGN PER FRONTAGE OF 150' OR GREATER.
 REFER TO ARCHITECTURAL PLANS FOR ANY BUILDING/WALL-MOUNTED SIGNS & ZONING REQUIREMENTS FOR SAME.



Plotted: 09/23/2020 at 1:43 PM. By: swall
 File: P:\CEC PROJECTS\2382-Ingeman\99-007 Clinton - RI 173(Dwg) Site Plans\2382-99-0075\SW.dwg ----> 04- SITE PLAN

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 NEW JERSEY LICENSE NO. 41985

STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 48126

SITE PLAN

SCALE: (H) 1" = 30'
 (V) 1" = 30'

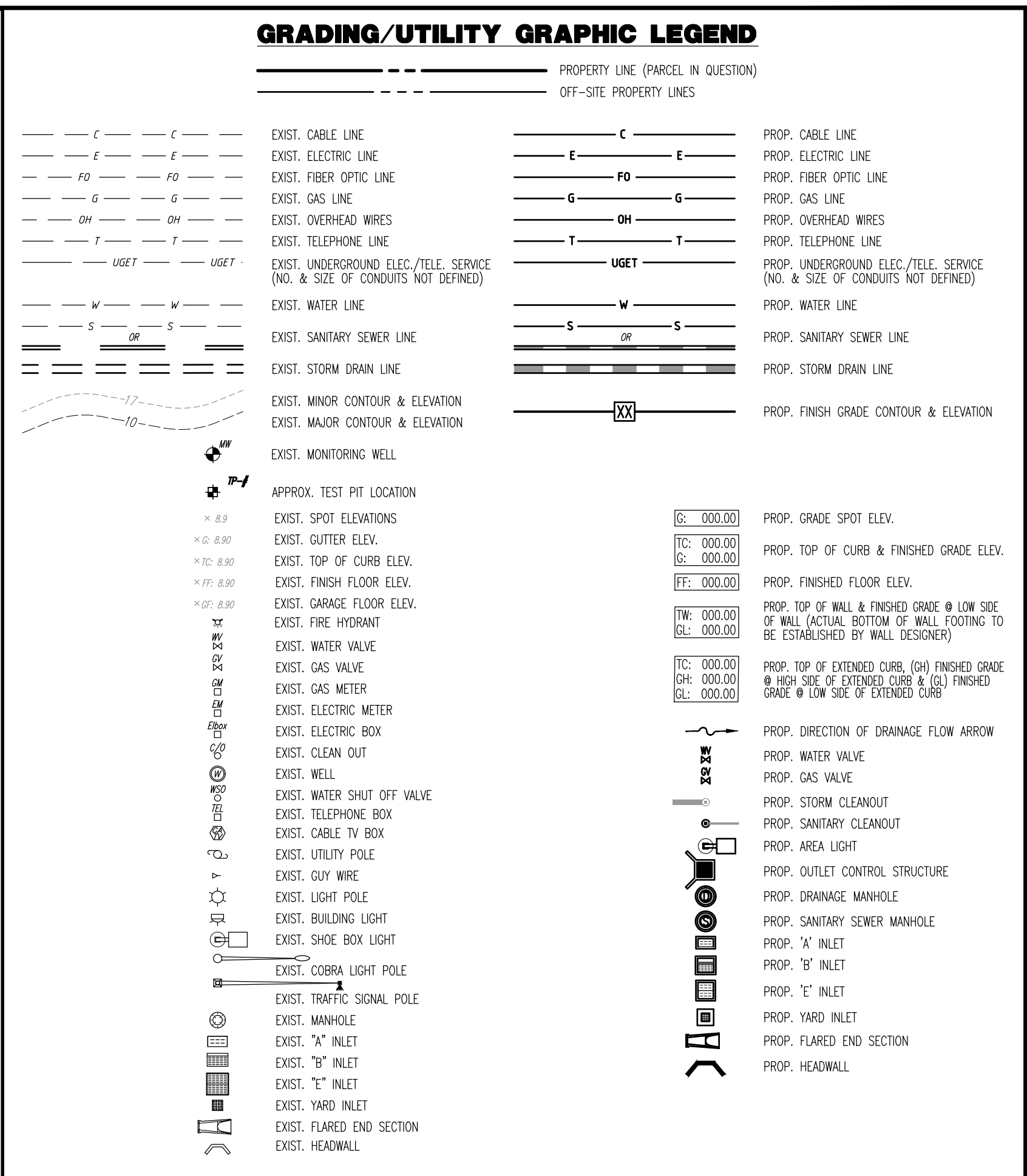
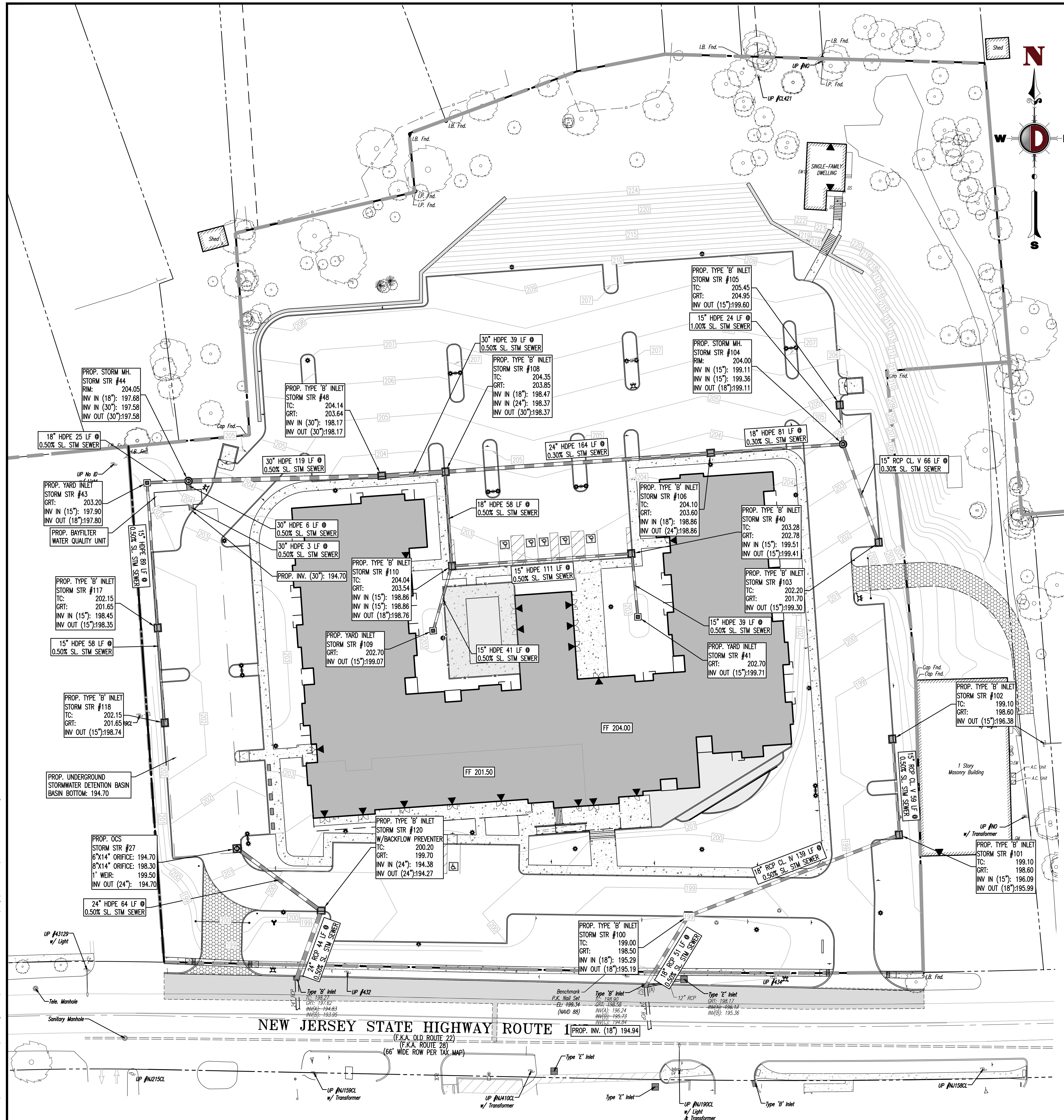
DATE: 08/13/2020

PROJECT No: 2382-99-007

SHEET No: 4

Rev. #:

Plotted: 09/23/20 - 1:43 PM, By: awell
File: P:\VCEPC PROJECTS\2362 Ingerman 09-007 Clinton - R1 173(Dwg)Site Plans\0236290075DR1.dwg. ---> 06 DRAINAGE PLAN



DRAINAGE & UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUIV.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-990 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKEDED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKEDED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKEDED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER/TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

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REV.	DATE	BY	COMMENTS
1	09/22/20	JWG	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

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DESIGNED BY: JWG
CHECKED BY: SLS
ISSUED BY: JTG

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 21, LOTS 29, 30.01, & 31-33
49 NUSH ROUTE 173 (OLD HIGHWAY 22)
TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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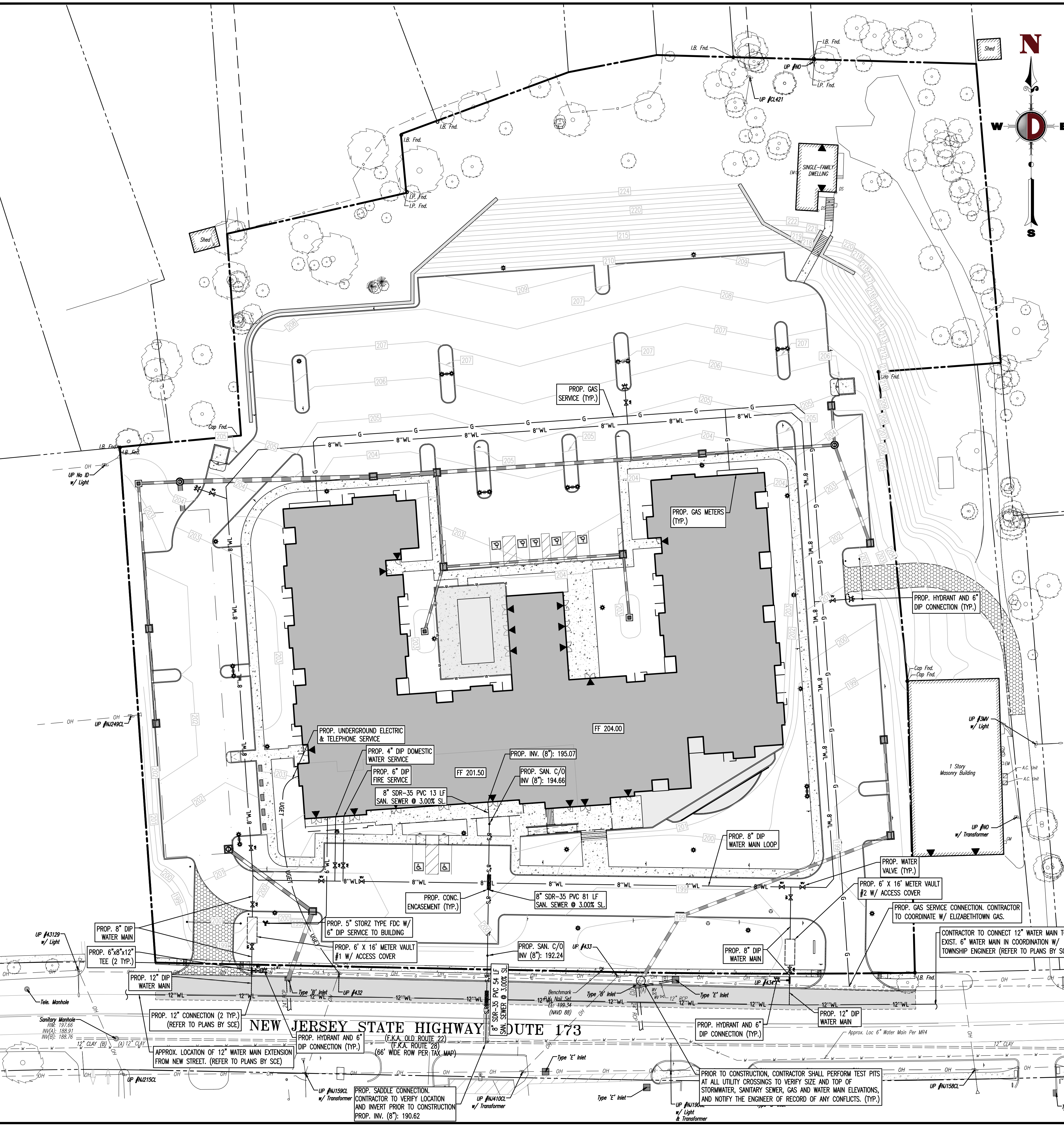
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STEPHEN L. SCHWARTZ
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NEW JERSEY LICENSE NO. 48126

TITLE: **DRAINAGE PLAN**

SCALE: (H) 1"=30'
(V) 1"=10'
DATE: 08/13/2020
PROJECT No: 2362-99-007
SHEET No: **6** Rev. #:

Plotted: 09/23/20 1:43 PM, By: awill
 File: P:\JERIC PROJECTS\2362 Ingerman\99-007 Clinton - R1 173(Dwg)Site Plans\0236299007SU1.dwg, ----> 07 UTILITY PLAN



GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE		PROP. CABLE LINE
	EXIST. ELECTRIC LINE		PROP. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE		PROP. FIBER OPTIC LINE
	EXIST. GAS LINE		PROP. GAS LINE
	EXIST. OVERHEAD WIRES		PROP. OVERHEAD WIRES
	EXIST. TELEPHONE LINE		PROP. TELEPHONE LINE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	EXIST. WATER LINE		PROP. WATER LINE
	EXIST. SANITARY SEWER LINE		PROP. SANITARY SEWER LINE
	EXIST. STORM DRAIN LINE		PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION		PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION		
	EXIST. MONITORING WELL		
	APPROX. TEST PIT LOCATION		
	EXIST. SPOT ELEVATIONS		PROP. GRADE SPOT ELEV.
	EXIST. GUTTER ELEV.		PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. TOP OF CURB ELEV.		PROP. FINISHED FLOOR ELEV.
	EXIST. FINISH FLOOR ELEV.		PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CHANGE FLOOR ELEV.		PROP. TOP OF EXTENDED CURB (H) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (L) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
	EXIST. FIRE HYDRANT		
	EXIST. WATER VALVE		PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. GAS VALVE		PROP. WATER VALVE
	EXIST. GAS METER		PROP. STORM CLEANOUT
	EXIST. ELECTRIC METER		PROP. SANITARY CLEANOUT
	EXIST. ELECTRIC BOX		PROP. AREA LIGHT
	EXIST. WELL		PROP. OUTLET CONTROL STRUCTURE
	EXIST. CLEAN OUT		PROP. DRAINAGE MANHOLE
	EXIST. WATER SHUT OFF VALVE		PROP. SANITARY SEWER MANHOLE
	EXIST. TELEPHONE BOX		PROP. 'A' INLET
	EXIST. CABLE TV BOX		PROP. 'B' INLET
	EXIST. UTILITY POLE		PROP. 'E' INLET
	EXIST. GUY WIRE		PROP. FLARED END SECTION
	EXIST. LIGHT POLE		PROP. HEADWALL
	EXIST. BUILDING LIGHT		
	EXIST. SHOE BOX LIGHT		
	EXIST. COBRA LIGHT POLE		
	EXIST. TRAFFIC SIGNAL POLE		
	EXIST. MANHOLE		
	EXIST. 'A' INLET		
	EXIST. 'B' INLET		
	EXIST. 'E' INLET		
	EXIST. YARD INLET		
	EXIST. FLARED END SECTION		
	EXIST. HEADWALL		

DRAINAGE & UTILITY NOTES

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- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MOSTOR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

TOWN-SPECIFIC UTILITY NOTE:

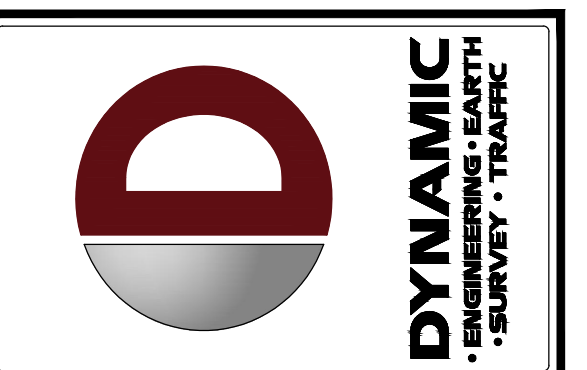
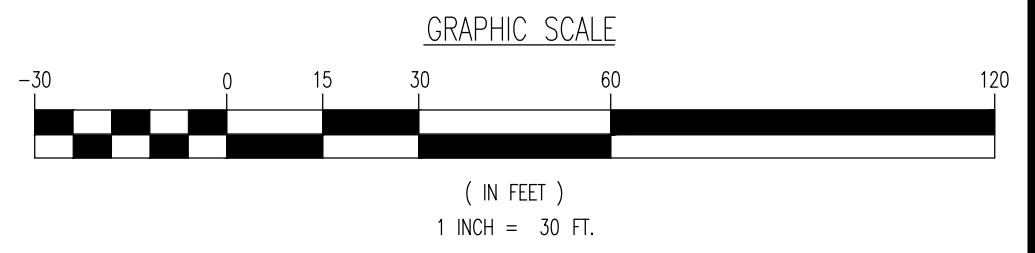
- A TEMPORARY STANDPIPE SHALL BE INSTALLED UNDER THE SUPERVISION OF THE FIRE OFFICIAL AND FIRE DEPARTMENT AND SHALL REMAIN ACTIVE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL INSTALL OPERATIONAL SPRINKLER SYSTEMS THROUGHOUT THE BUILDING'S CONSTRUCTION IN COORDINATION WITH THE FIRE OFFICIAL.

EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.



REV.	DATE	BY	COMMENTS
1	09/22/20		REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

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PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
 BLOCKS 21, LOTS 29, 30.01, & 31-33
 49 NUSH ROUTE 173 (OLD HIGHWAY 22)
 TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

DESIGNED BY: JTG
 CHECKED BY: JMW
 PERMITTED BY: SLS

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BRETT W. SKAPINETZ
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TITLE: **UTILITY PLAN**

SCALE: (H) 1" = 30'
 (V) 1" = 10'

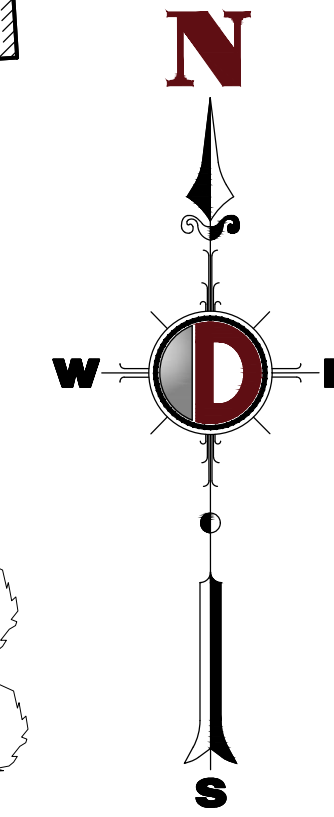
DATE: 08/13/2020

PROJECT No: 2362-99-007

SHEET No: **7** OF 18

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER TO SHEETS 11 & 15 OF 18 FOR LANDSCAPE NOTES AND DETAILS



LANDSCAPE SCHEDULE

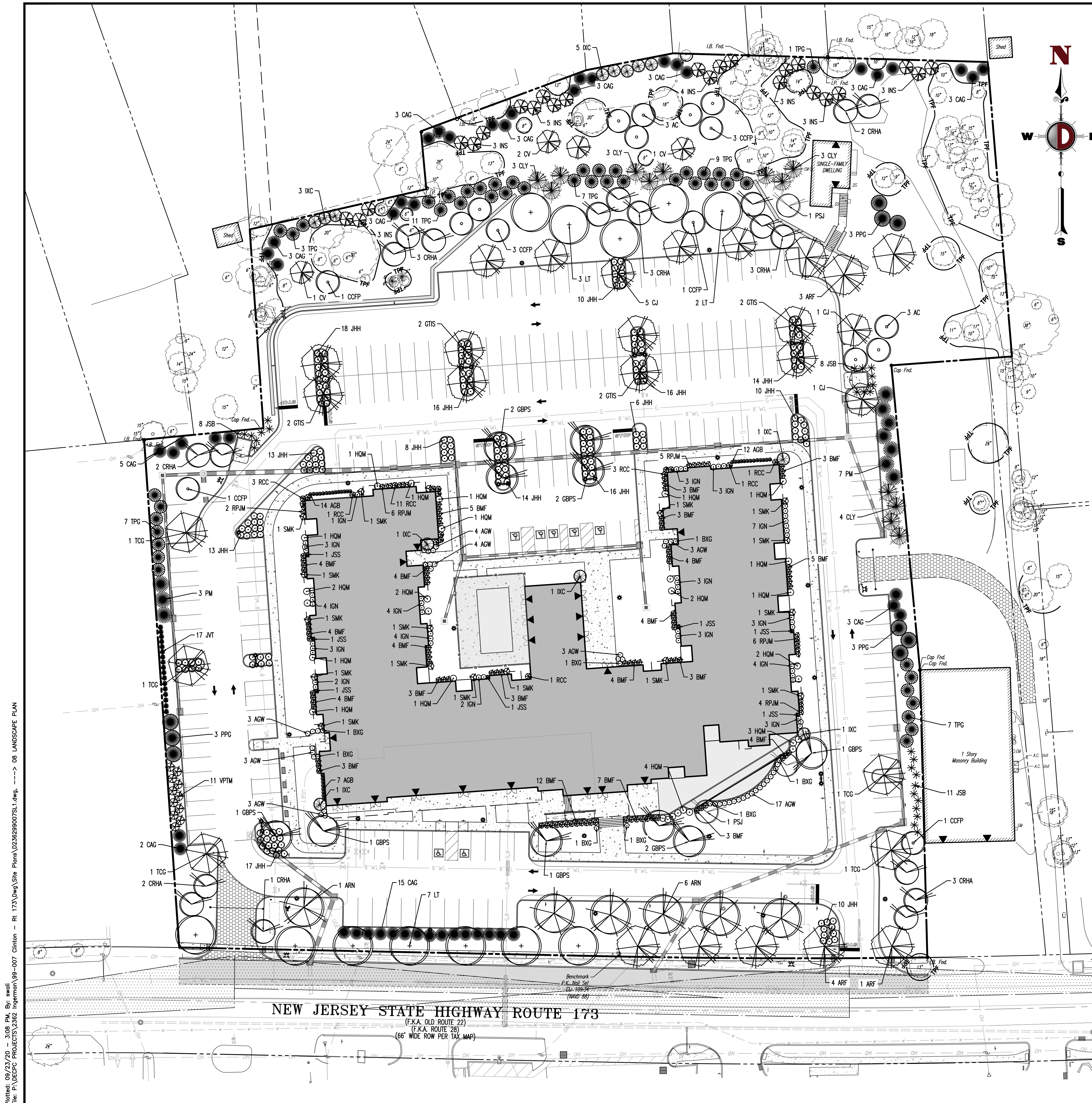
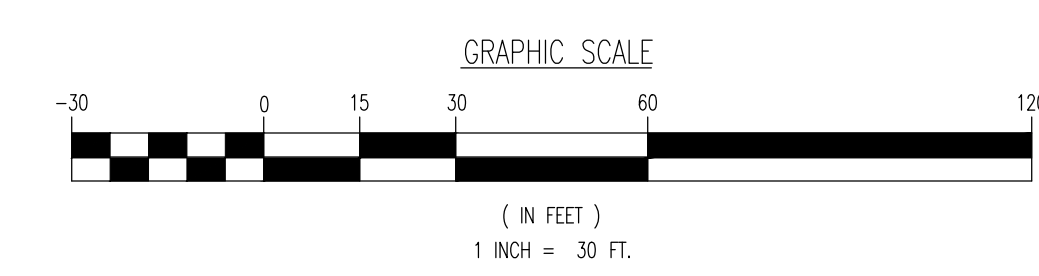
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
ARF	8	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2-3" CAL.	B+B
ARN	6	ACER RUBRUM NORTHWOOD	NORTHWOOD RED MAPLE	2 1/2-3" CAL.	B+B
CJ	7	CERCIDIPHYLLUM JAPONICUM	JAPANESE KATSURU TREE	2 1/2-3" CAL.	B+B
GBPS	10	GINKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAD GINKGO	2 1/2-3" CAL.	B+B
GTS	8	GLEDITSIA TRACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B
LT	12	LIRIODENDRON TULIPIFERA 'AURORE MARGINATA'	MAJESTIC BEAUTY TULIP POPLAR	2 1/2-3" CAL.	B+B
TCG	5	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B
	56				
ORNAMENTAL TREE(S)					
AC	6	AMELANCHIER CANADENSIS 'GLENFORM'	RAINBOW PILLAR MULTI STEM SHADLOW SERVICEBERRY	8-10'	B+B
CCFP	10	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	8-10'	B+B
CRHA	19	CORNUS RUBRA 'A'	AURORA DOWNWOOD HYBRID	8-10'	B+B
CV	4	CHONANTHUS VIRGINICUS	WHITE FRINGETREE	8-10'	B+B
PSJ	3	PRUNUS SARGENTII 'SFS-KWS'	PINK FLAIR CHERRY	8-10'	B+B
	42				
EVERGREEN TREE(S)					
CAG	49	CALOCEDRUS DECURRENS	INCENSE CEDAR	7-8'	B+B
CLY	13	X CUPRESSOPARIS LEVLANDII	LEVLAND CYPRESS	6-7'	B+B
INS	24	ILEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	6-8'	B+B
IXC	13	ILEX X CONAF	OKLAFAE RED HOLLY	6-8'	B+B
JSB	27	JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	6-8'	B+B
JT	17	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	6-8'	B+B
PM	10	PSUEDOTSUGA MENZESII	DOUGLAS FIR	6-8'	B+B
PPG	9	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	7-8'	B+B
TPG	45	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	7-8'	B+B
	207				
EVERGREEN SHRUB(S)					
AGB	34	ABELIA X GRANDIFLORA 'RIKA 1'	BRONZE ANNIVERSARY ABELIA	36"	#3 CAN
AMF	38	AZALEA X 'GRABO'S PLEASANT WHITE'	GRABO'S PLEASANT WHITE AZALEA	36"	#3 CAN
BWF	88	BUXUS MICROPHYLLA 'FALLKNEE'	FALLKNEE BOXWOOD	36"	3 CAL
BXG	10	BUXUS X GREEN MOUNTAIN	GREEN MOUNTAIN BOXWOOD	36"	#5 CAN
IGN	52	ILEX GLABRA X 'CHAMZIN'	NORDIC INSBERRY	36"	#3 CAN
JSS	8	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	36"	B+B
RCC	17	RHOODOENDRON CATAMBENSE 'CHONODES'	CHONODES RHOODOENDRON	36"	B+B
RPJM	23	RHOODOENDRON CAROLINANA X PJM	PJM RHOODOENDRON	36"	B+B
	270				
DECIDUOUS SHRUB(S)					
HQM	29	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24-30"	#3 CAN
SMK	17	SYRINCA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	24-30"	#5 CAN
VPTM	11	VIBURNUM PLICATUM 'TOMENTOSISSIM 'MARESI'	MARESI DOUBLETLE VIBURNUM	30-36"	B+B
	57				
GROUND COVER					
JHH	197	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	24-30" SPRD	#3 CAN

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

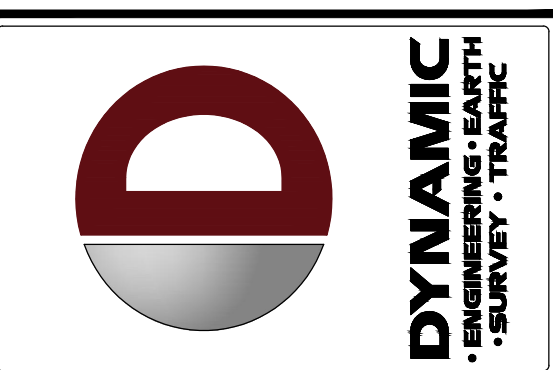
PROJECT-SPECIFIC LANDSCAPE NOTE:
CONTRACTOR TO PROVIDE A MIN. 3" MULCHED LANDSCAPE BED AROUND THE PERIMETER OF THE BUILDINGS.

IRRIGATION NOTE:

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN & BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REGULATING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.



Plotted: 09/23/20 3:08 PM, By: awell
 File: P:\VEPC PROJECTS\2362 Ingerman\99-007 Clinton - Rr 173(Dwg)Site Plans\0236299007SL1.dwg, --- 08 LANDSCAPE PLAN
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REV.	DATE	COMMENTS
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DESIGNED BY: JWG
CHECKED BY: SLS
DRAWN BY: JTG
REVISION BY: JWG

PROJECT: OLD 22 URBAN RENEWAL ASSOCIATES, LLC
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 21, LOTS 29, 30.01, & 31-33
49 NUSH ROUTE 173 (OLD HIGHWAY 22)
TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 48126

TITLE: **LANDSCAPE PLAN**

SCALE: (H) 1" = 30'
(V) 1" = 30'
DATE: 08/13/2020
PROJECT No: 2362-99-007
SHEET No: **8** OF 18

Plotted: 09/23/20 1:44 PM By: awell
 File: P:\VEPC PROJECTS\3362 Ingerman - R1 173(Dwg)Site Plans\0362990075\dwg... --> 09 LIGHTING PLAN



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

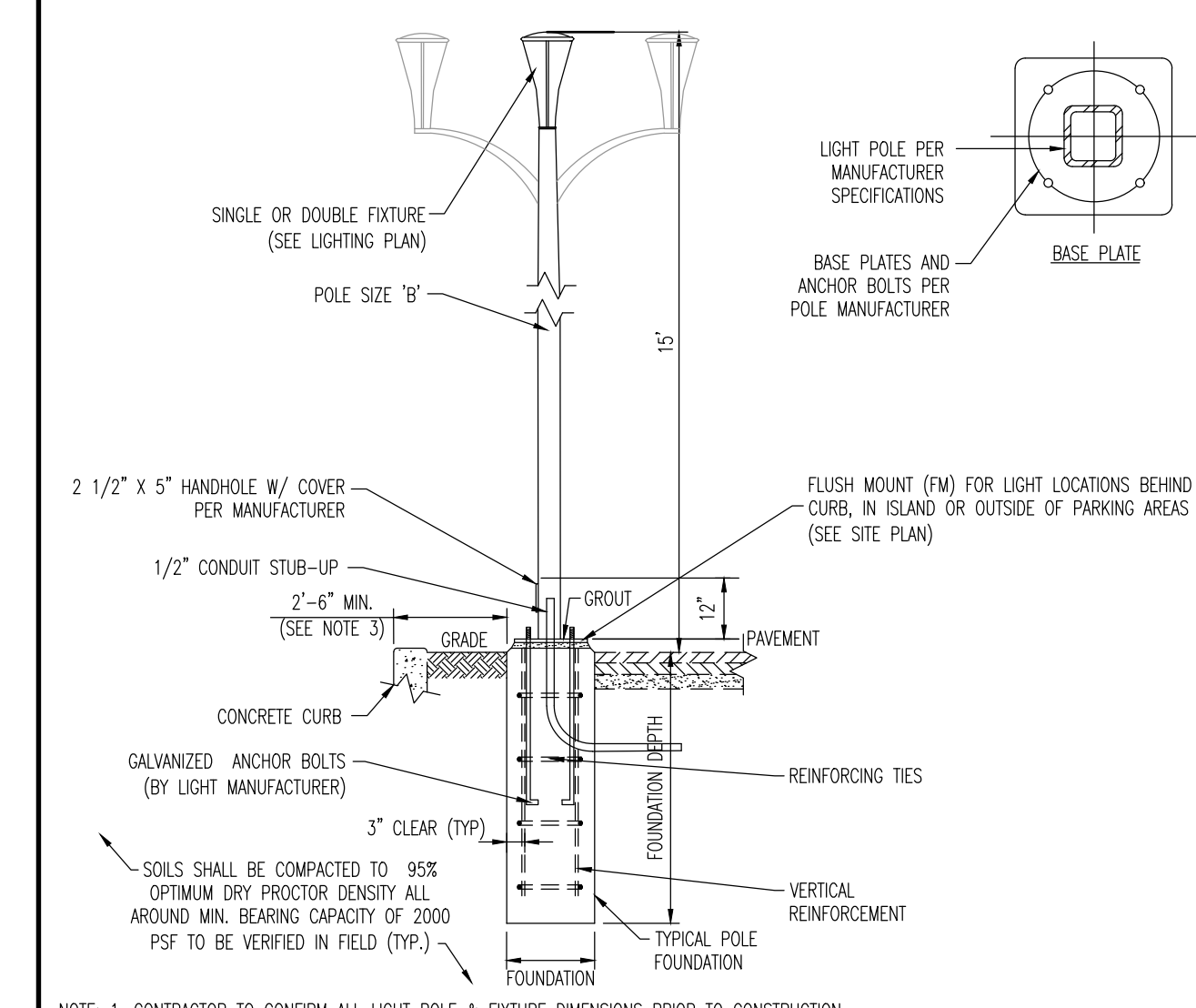
SEE SHEET 15 OF 18 FOR LIGHTING NOTES AND DETAILS

GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYWIRE POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM.

LIGHTING REQUIREMENTS: (OHRP)

- [OHRP-F.4.1] MAX. MOUNTING HEIGHT: 15' PERMITTED, 15' PROPOSED (COMPLIES)
- [OHRP-F.4.2] ALL LIGHTS SHALL BE SHIELDED TO RESTRICT THE MAX. APERTURE ANGLE OF THE CONE OF ILLUMINATION TO 150°. (COMPLIES)
- [OHRP-F.4.3] MIN. ILLUMINATION LEVEL: 0.5 FC REQUIRED; 0.5 FC PROPOSED (COMPLIES)
- [OHRP-F.4.4] MIN. AVERAGE ILLUMINATION LEVEL: 1.0 FC REQUIRED; 2.7 FC PROPOSED (COMPLIES)
- [OHRP-F.4.5] UNIFORMITY RATIO: AN AVERAGE TO MIN. OF 5:1 AND A MAX. TO MIN. OF 20:1 SHALL BE MAINTAINED. (COMPLIES)
- [OHRP-F.4.6] MAX. ILLUMINATION LEVEL ALONG PROPERTY LINE: 0.5 FC REQUIRED; 0.3 FC PROPOSED (COMPLIES)
- [OHRP-F.4.7] MAX. ILLUMINATION LEVEL ALONG RESIDENTIAL PROPERTY LINE: 0.1 FC REQUIRED; 0.1 FC PROPOSED (COMPLIES)
- [OHRP-F.4.8] FOR EACH FIXTURE AND LIGHTED SIGN, THE TOTAL QUANTITY OF LIGHT RADIATED ABOVE A HORIZONTAL PLANE PASSING THROUGH THE LIGHT SOURCE SHALL NOT EXCEED 7 1/2% OF THE TOTAL QUANTITY OF LIGHT EMITTED FROM THE LIGHT SOURCE. (COMPLIES)



- NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 2. PROPOSED POLE IN COMBINATION WITH CONCRETE PEDESTAL TO EQUAL MOUNTING HEIGHT 'A'. ACTUAL POLE HEIGHT TO BE ADJUSTED ACCORDINGLY.
 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PRESCRIBED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCRoACHMENT OVER PROPERTY LINE.
 4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

LIGHT POLE FOUNDATION SCHEDULE		
MOUNTING HEIGHT ABOVE GRADE 'A'	15'	
POLE DIA. 'W'	6" SQUARE (OR PER MANUFACTURER)	
# OF FIXTURES	SINGLE OR DOUBLE	

SOIL NOTES

1. FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
 2. SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
- CONCRETE NOTES**
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.

DECORATIVE LIGHT DETAIL
NOT TO SCALE

LUMINAIRE SCHEDULE

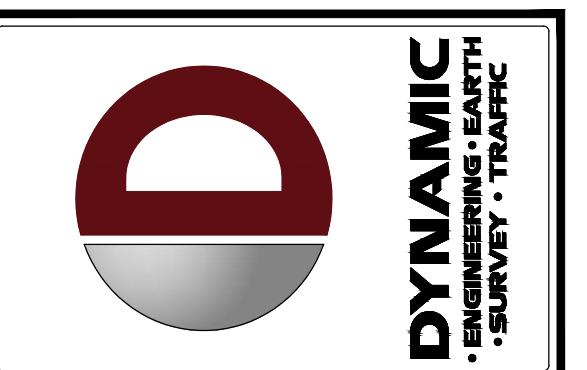
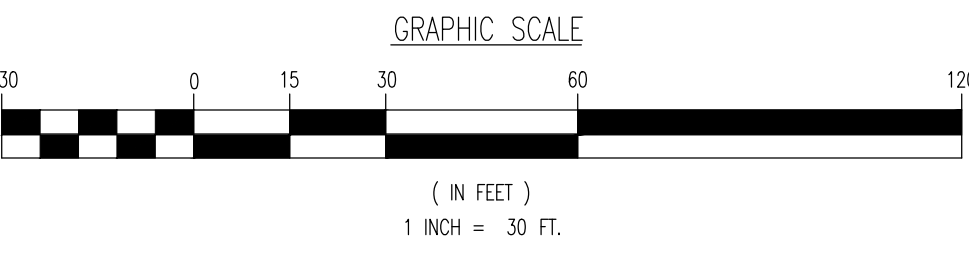
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LLF	MANUFACTURER	DESCRIPTION	LUM. WATTS	LUM. LUMENS
⊛	2	A	15'	SINGLE	0.9	SIGNIFY LUMEC	MPTC-140W4LED3K-02-LE3W	156.5	11030
⊛	6	B	15'	SINGLE	0.9	SIGNIFY LUMEC	MPTC-140W4LED3K-02-LE3W-HS	156.5	9328
⊛	3	C	15'	SINGLE	0.9	SIGNIFY LUMEC	MPTC-140W4LED3K-02-LE4-HS	156.5	9483
⊛	10	D	15'	SINGLE	0.9	SIGNIFY LUMEC	MPTC-140W4LED3K-02-LE5	156.5	11626
⊛	8	E	15'	DOUBLE	0.9	SIGNIFY LUMEC	MPTC-140W4LED3K-02-LE5	313	23252

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 1.0 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DISTRIBUTION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).
 VALUES DO NOT INCLUDE CONTRIBUTION FROM ADJACENT PROPERTIES OR DECORATIVE LIGHTING AT BUILDING ENTRANCES AND WITHIN COURTYARD AREAS NOT SHOWN. FOOTCANDLE VALUES DO NOT INCLUDE OBSTRUCTIONS FROM TREES, SHRUBS, LANDSCAPING, VEHICLES, OR FENCING.

STATISTICAL AREA SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PROPERTY LINE	ILLUMINANCE	Fc	0.1	0.3	0.0	N/A	N/A
PEDESTRIAN AREAS	ILLUMINANCE	Fc	2.7	7.0	0.5	5.3	14.0

ILLUMINATION LEVELS ABOVE DO NOT INCLUDE EXISTING STREET LIGHTS TO REMAIN.



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 CHECKED BY: JWC
 DRAWN BY: JTC

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
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BRETT W. SKAPINETZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 41985

STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 48126

TITLE: **LIGHTING PLAN**

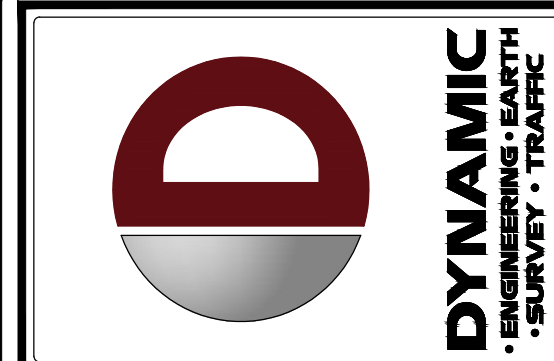
SCALE: (H) 1" = 30'
 (V) 1" = 30'

DATE: 08/13/2020

PROJECT No: 2362-99-007

SHEET No: **9** Rev. #:

OF 18 1



REV.	DATE	COMMENTS
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: OLD 22 URBAN RENEWAL ASSOCIATES, LLC
 PROPOSED MIXED-USE DEVELOPMENT
 BLOCK 21, LOTS 29, 30.01, & 31-33
 49 NUSH ROUTE 173 (OLD HIGHWAY 22)
 TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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 Allen, Texas • 1: 972.324.2100
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 Jacksonville, Florida • 1: 904.246.2404
 Delray Beach, Florida • 1: 561.921.8570

BRETT W. SKAPINETZ
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 NEW JERSEY LICENSE No. 41985

STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 48126

TITLE: **SOIL EROSION AND SEDIMENT CONTROL PLAN**

SCALE: (H) 1" = 30'
 (V) 1" = 10'

DATE: 08/13/2020

PROJECT No: 2362-99-007

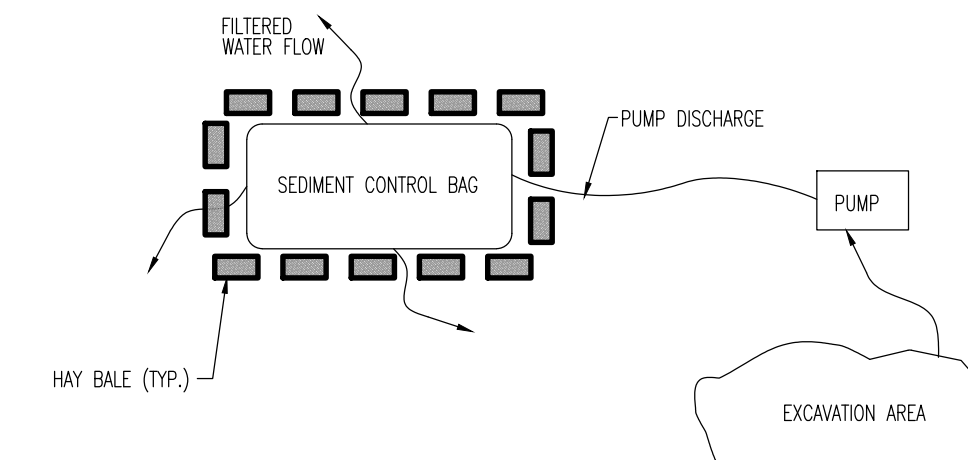
SHEET No: **10** OF 18

SEE SHEET 11 OF 18 FOR SOIL EROSION & SEDIMENT CONTROL NOTES AND DETAILS

SOIL COMPACTION EXEMPTION NOTE

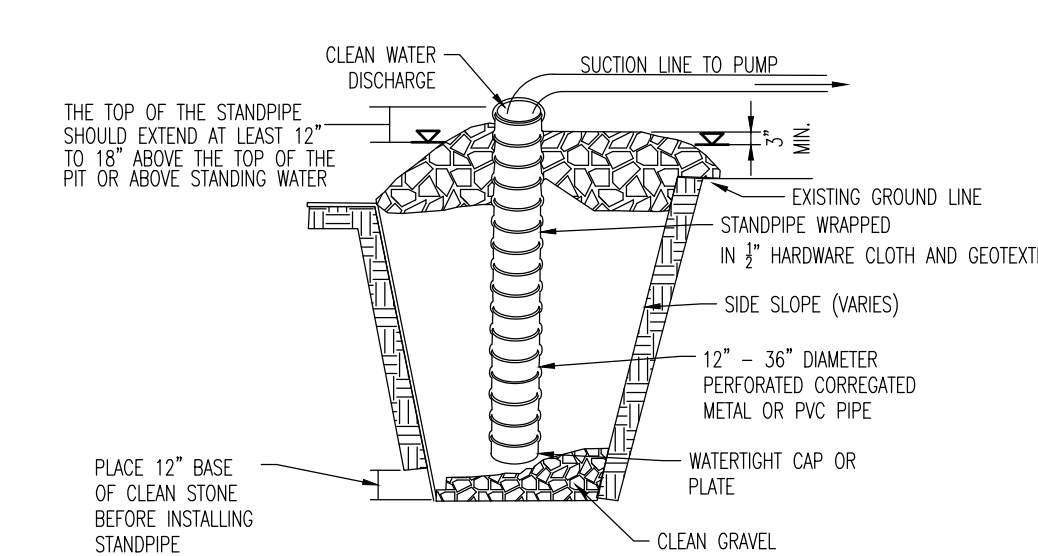
AS DETERMINED BY THE FREQUENTLY ASKED QUESTIONS FOR THE NEW JERSEY SOIL RESTORATION ACT #3 AREAS WITH UNDESIRABLE INCREASED INFILTRATION DUE TO KARST ENVIRONMENTS ARE EXEMPT FROM SOIL COMPACTION TESTS.

ALL SEDIMENT LADEN RUNOFF THAT CANNOT DRAIN VIA GRAVITY TO A NEARBY INLET WITH PROPOSED INLET PROTECTION DEVICES SHALL BE PUMPED OUT VIA A SEDIMENT CONTROL BAG AND SEDIMENT LADEN RUNOFF IS PERMITTED TO DRAIN TO THE STORM DRAINAGE SYSTEM WITHOUT ANY TREATMENT.



- NOTES:
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SOIL CONSERVATION AND NIDEF REQUIREMENTS REGARDING DISCHARGE OF EFFLUENT.
 - BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
 - BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.
 - BAG MAY BE SURROUNDED BY STACKED HAY BALES AND FILTER FABRIC TO ENHANCE SEDIMENT CAPTURE.

N.J. S.C.D. SEDIMENT CONTROL BAG FOR DEWATERING



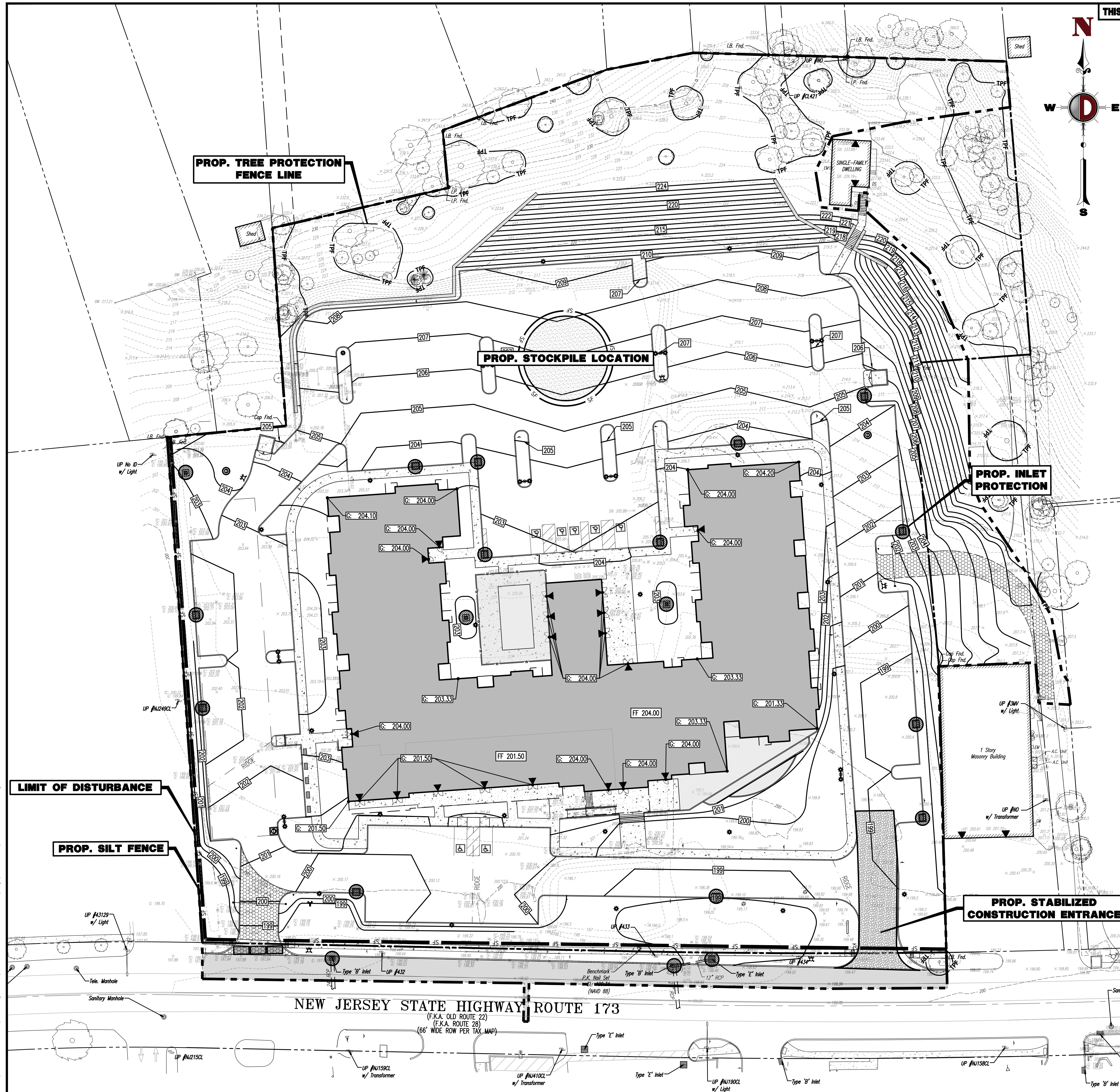
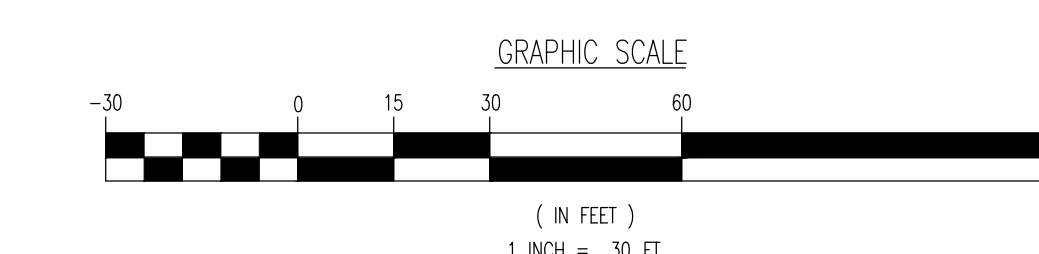
- CONSTRUCTION SPECIFICATIONS
- PIT DIMENSIONS ARE VARIABLE, WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER.
 - THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12" TO 24" DIAMETER CORRUGATED OR PVC PIPE. THEN WRAPPING WITH #1 HARDWARE CLOTH AND GEOTEXTILE. THE PERFORATIONS SHALL BE 1/2" X 4" SLOTS OR 1" DIAMETER HOLES.
 - A BASE OF FILTER MATERIAL, CONSISTING OF CLEAN GRAVEL OR ASTM #33 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACKFILLED WITH THE SAME FILTER MATERIAL.
 - THE STANDPIPE SHOULD EXTEND 12" TO 18" ABOVE THE LIP OF THE PIT OR THE RISER CREST ELEVATION (BASIN DEWATERING ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 3" MINIMUM ABOVE THE ANTICIPATED STANDING WATER ELEVATION.

N.J. S.C.D. SUMP PIT FOR EXCAVATION TEMPORARY DEWATERING

LIMIT OF DISTURBANCE = 253,270 SF. (5.8 Ac.)

EROSION CONTROL LEGEND

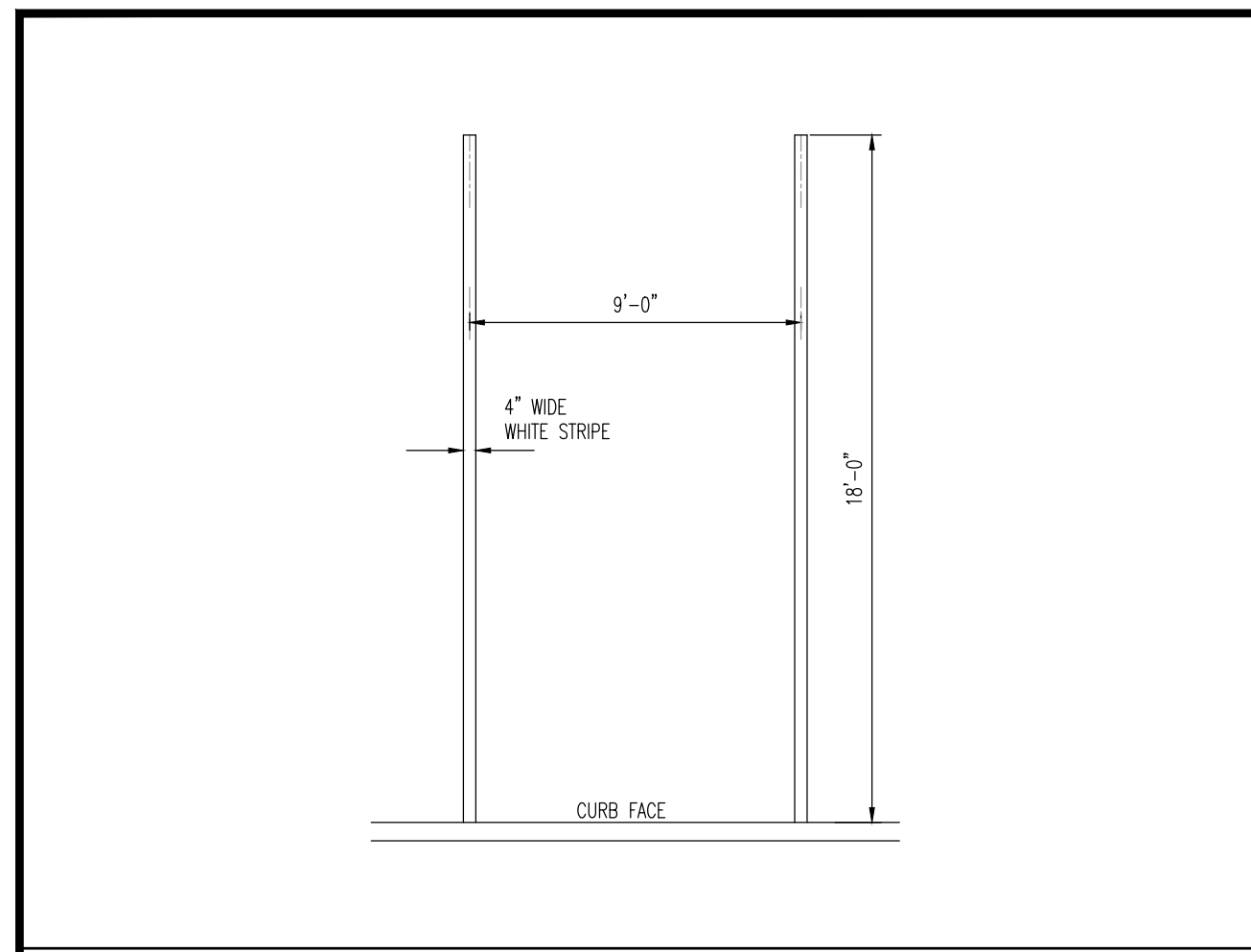
- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- TPF PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER



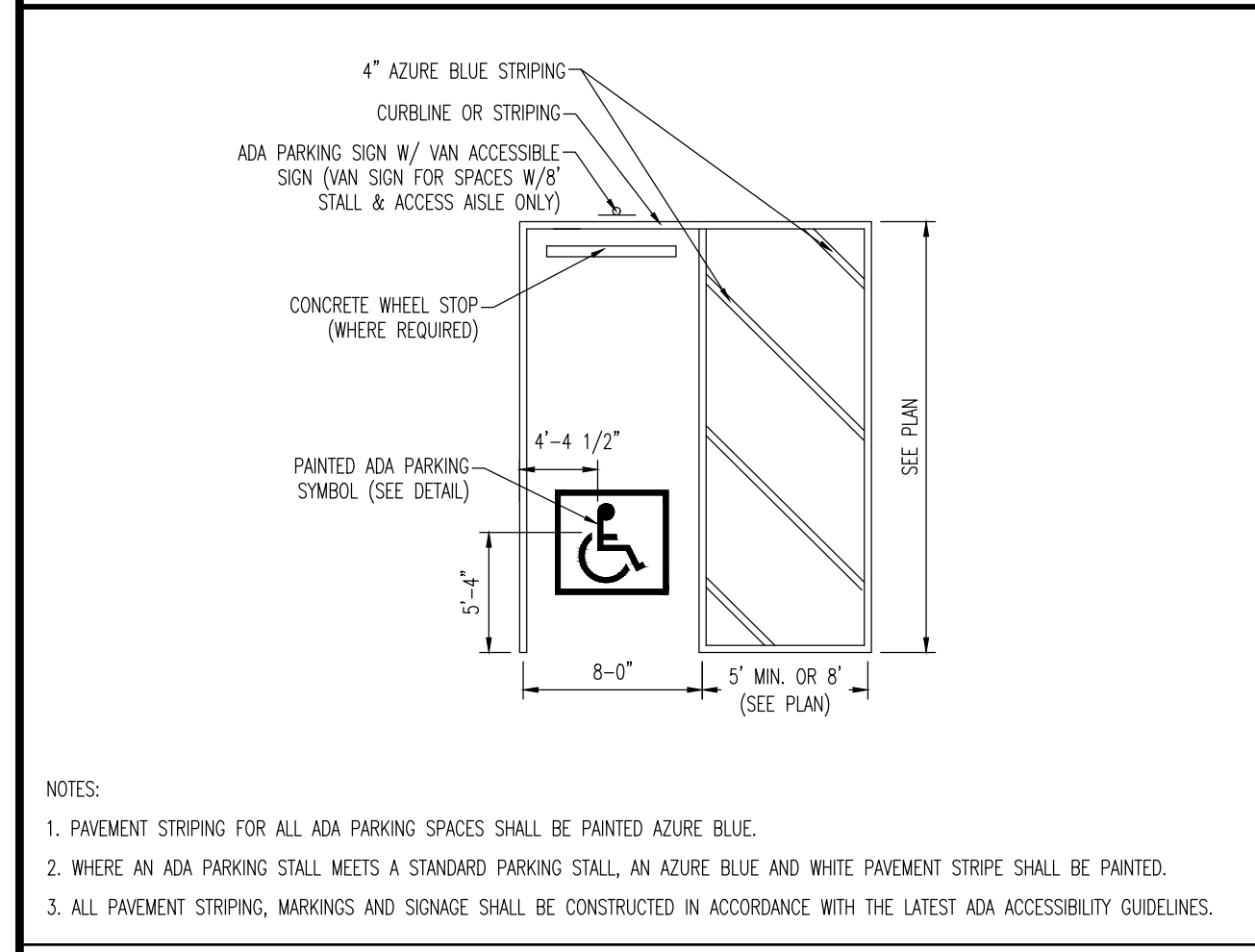
NEW JERSEY STATE HIGHWAY ROUTE 173
 (F.K.A. OLD ROUTE 22)
 (F.K.A. ROUTE 28)
 (66' WIDE ROW PER TAX MAP)

Plotted: 09/23/20 3:09 PM, By: swell
 File: P:\VEPC PROJECTS\2362 Ingerman - R1 173(Dwg)Site Plans\236299007SET.dwg ---> 10 SOIL EROSION AND SEDIMENT CONTROL PLAN

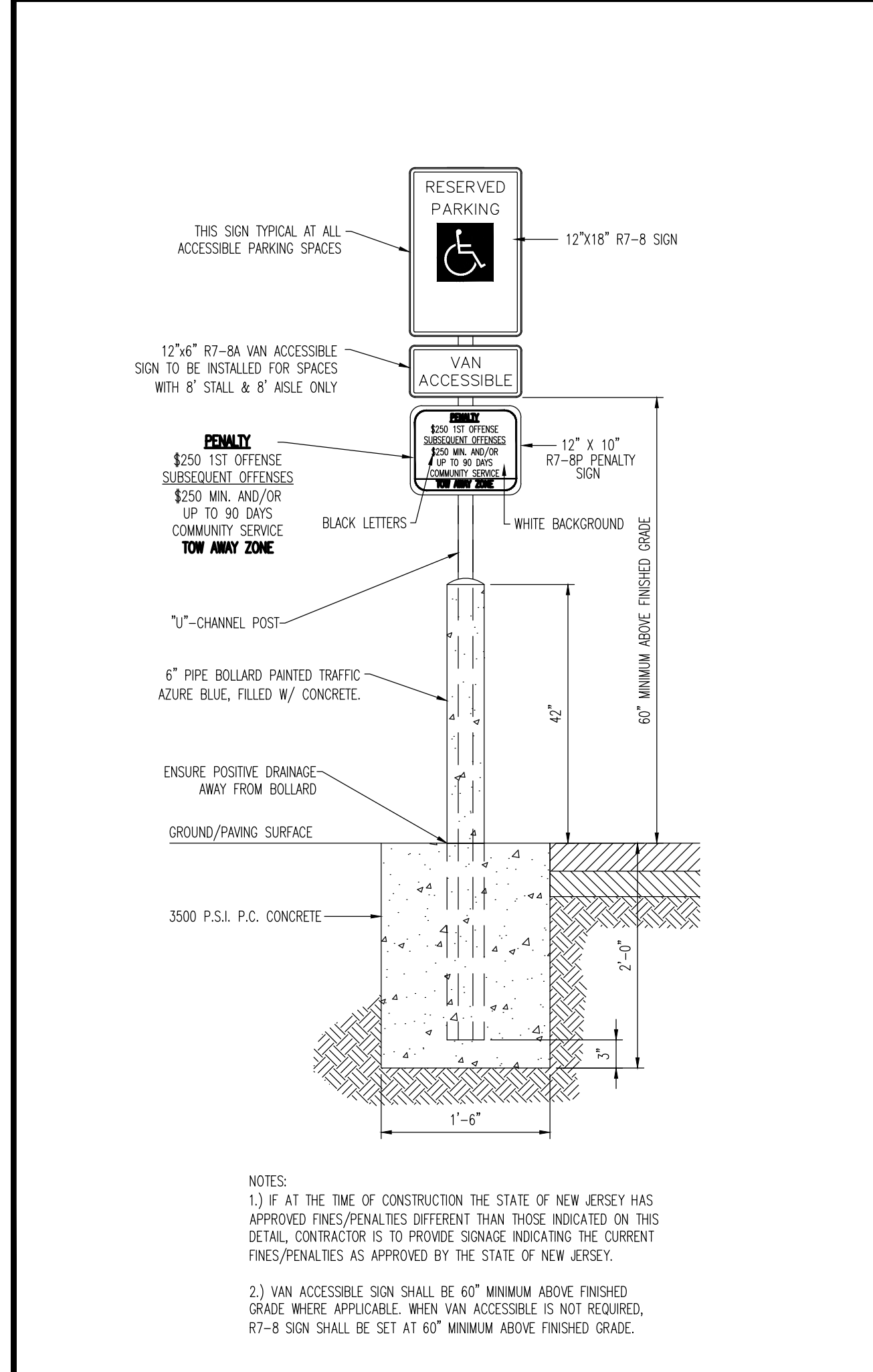
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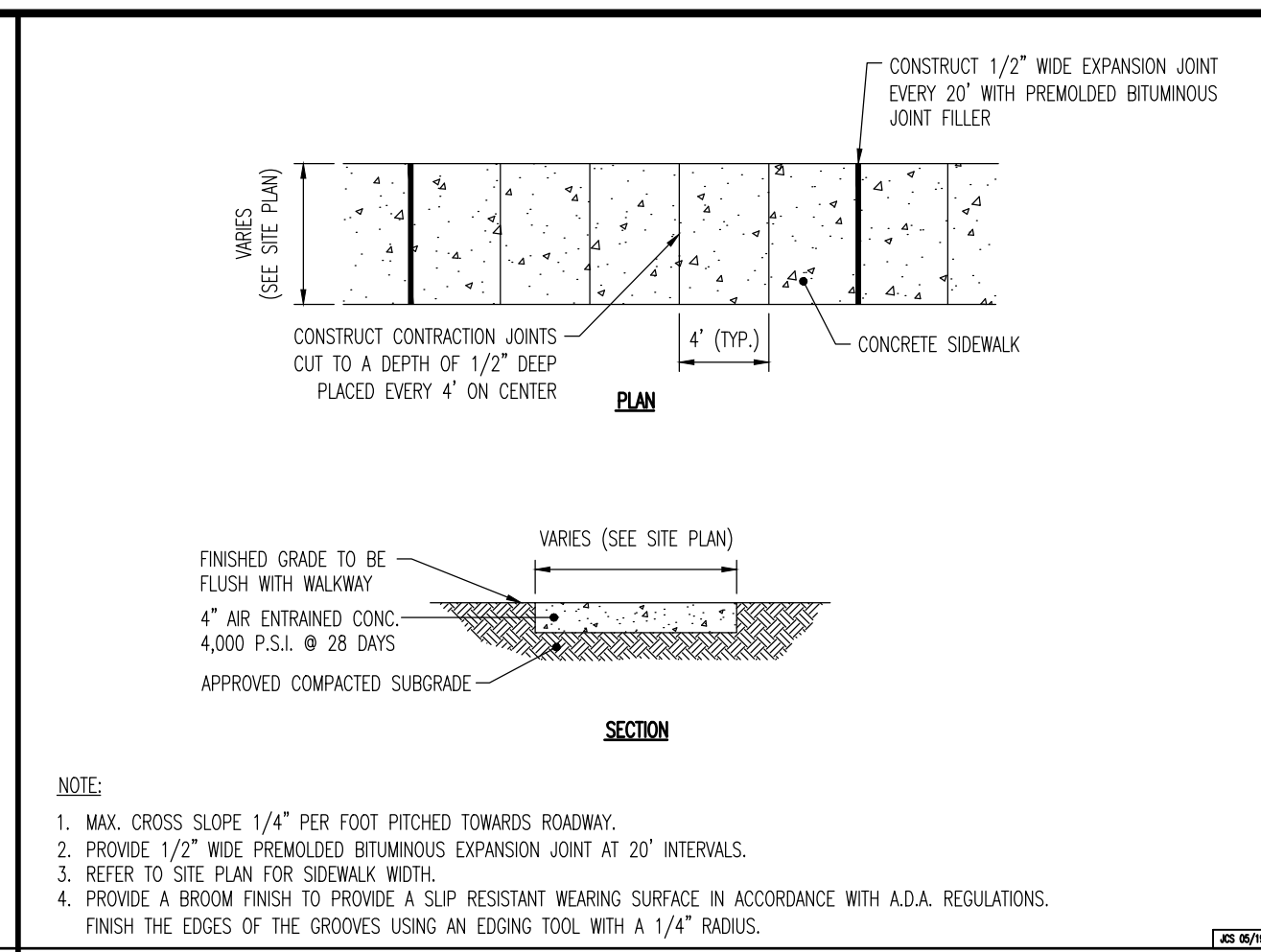
PARKING STALL STRIPING DETAIL
NOT TO SCALE



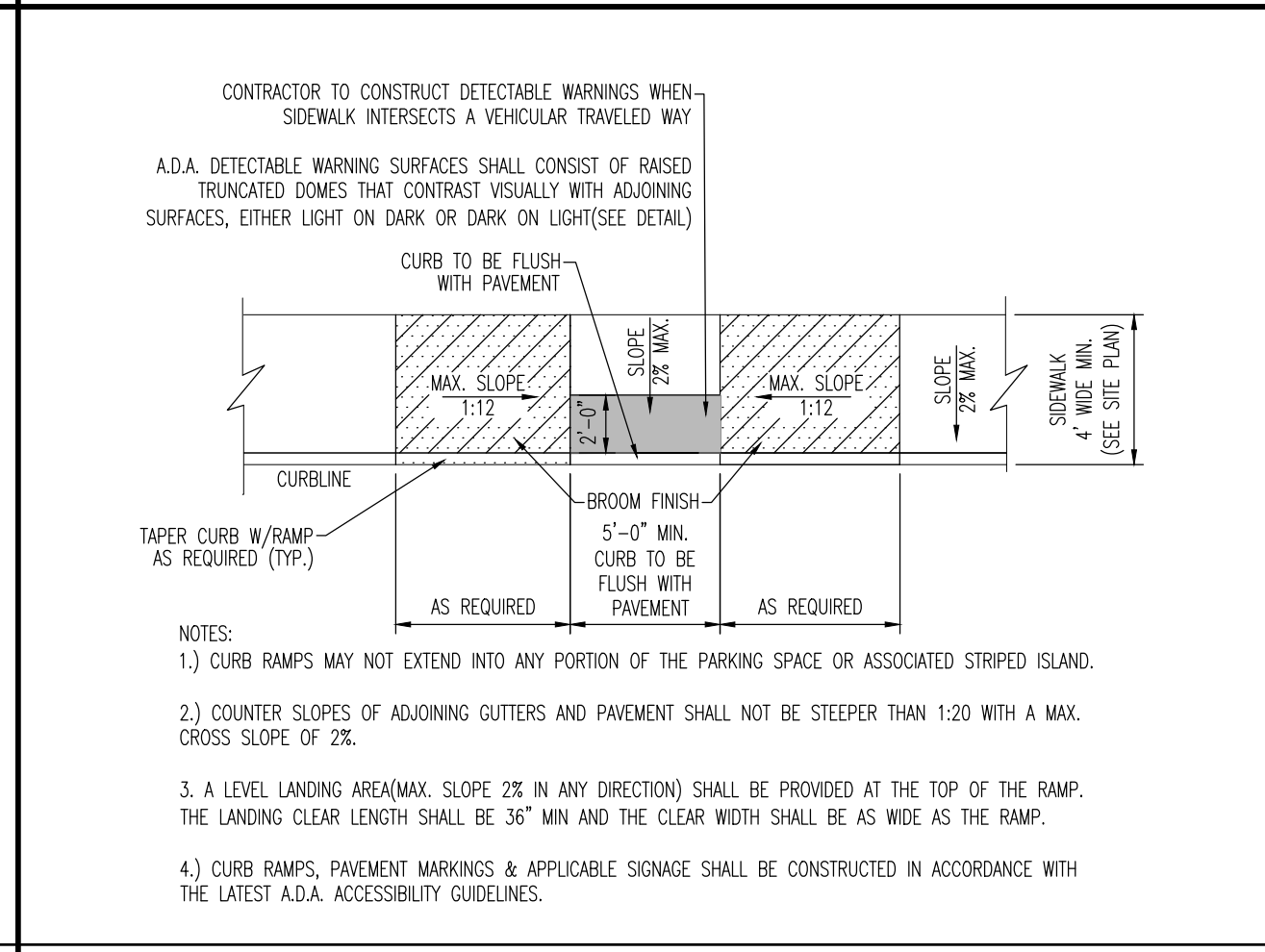
ADA STALL MARKINGS DETAIL
NOT TO SCALE



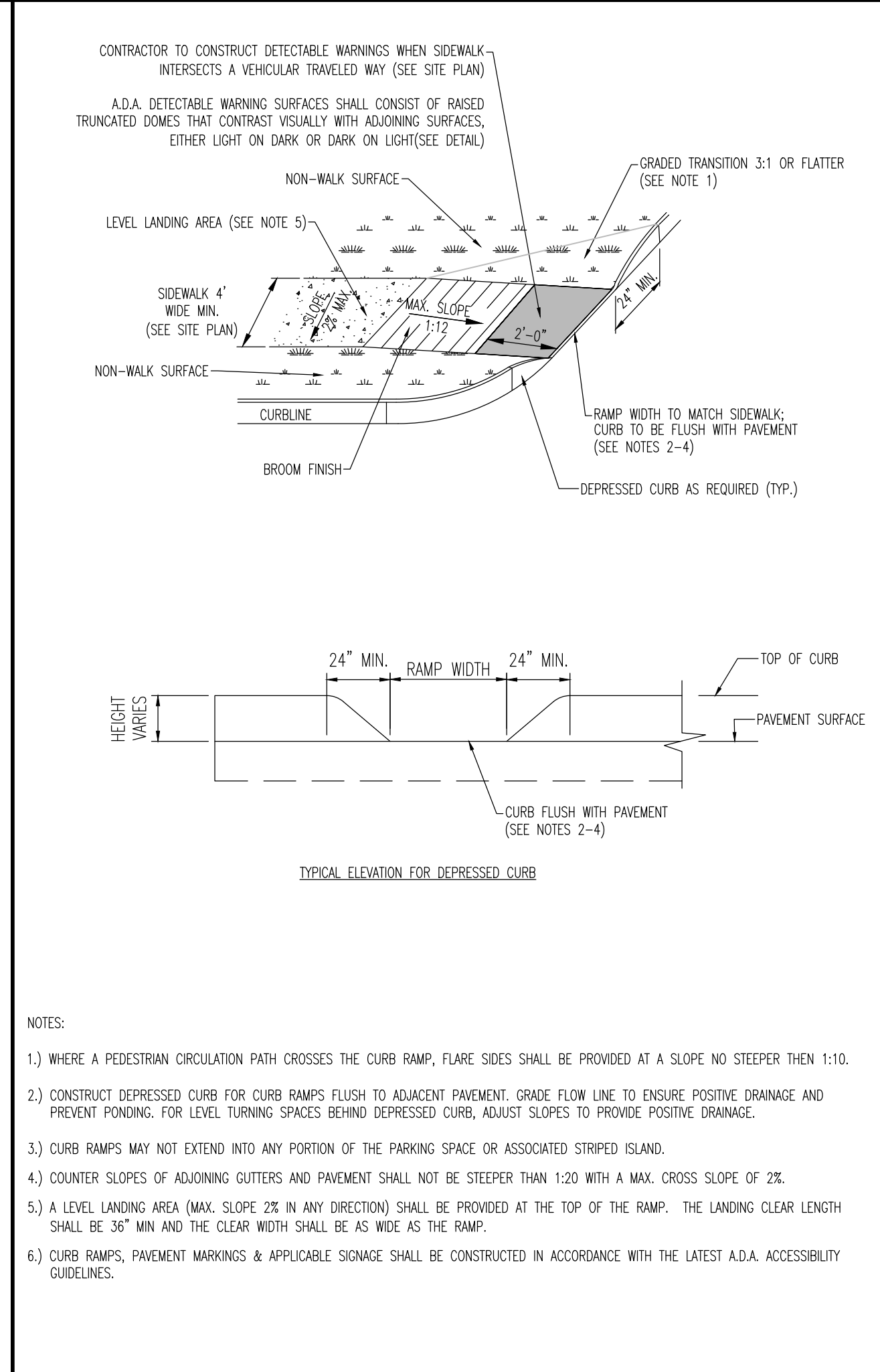
A.D.A. PARKING SIGN ON BOLLARD DETAIL
NOT TO SCALE



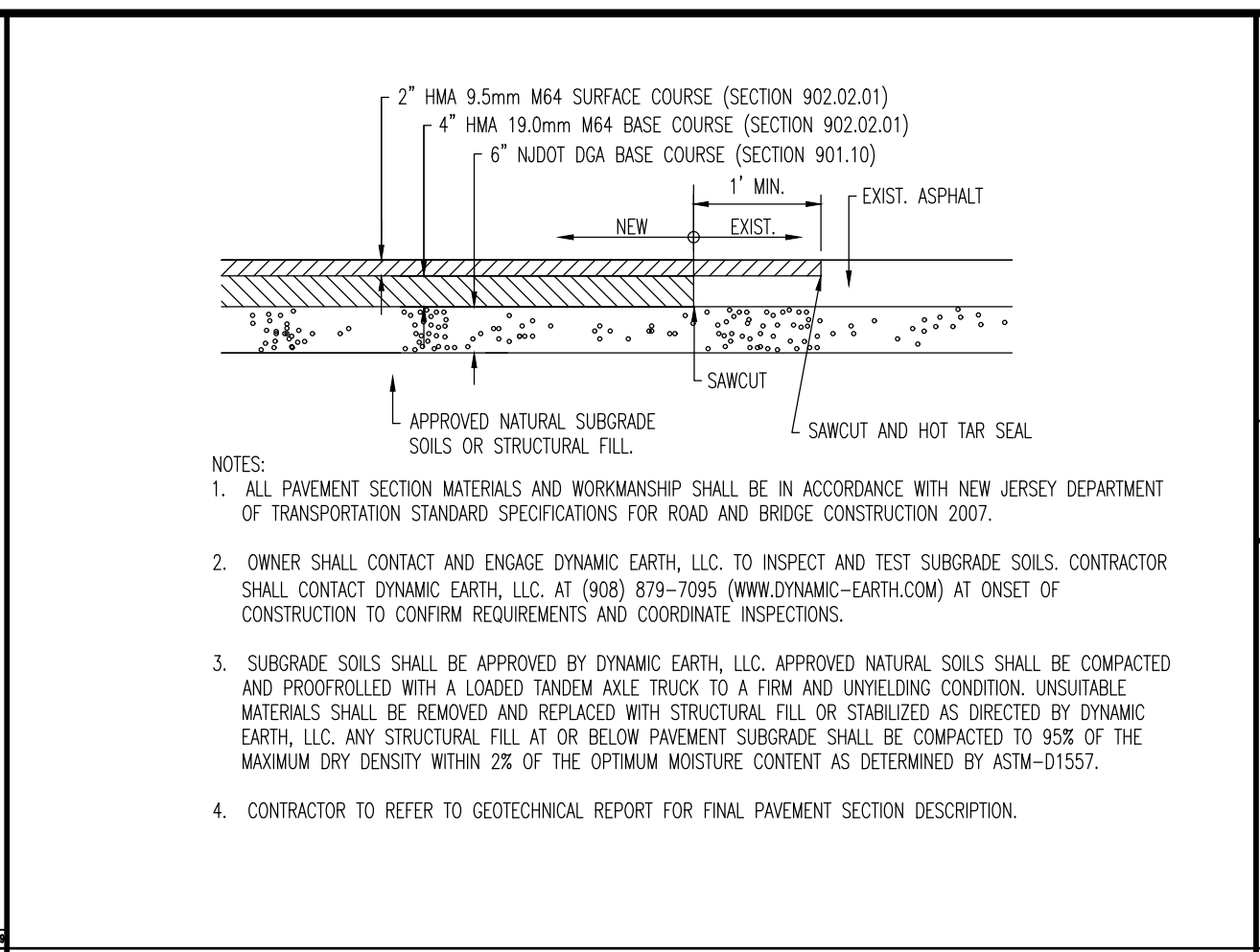
SIDEWALK DETAIL
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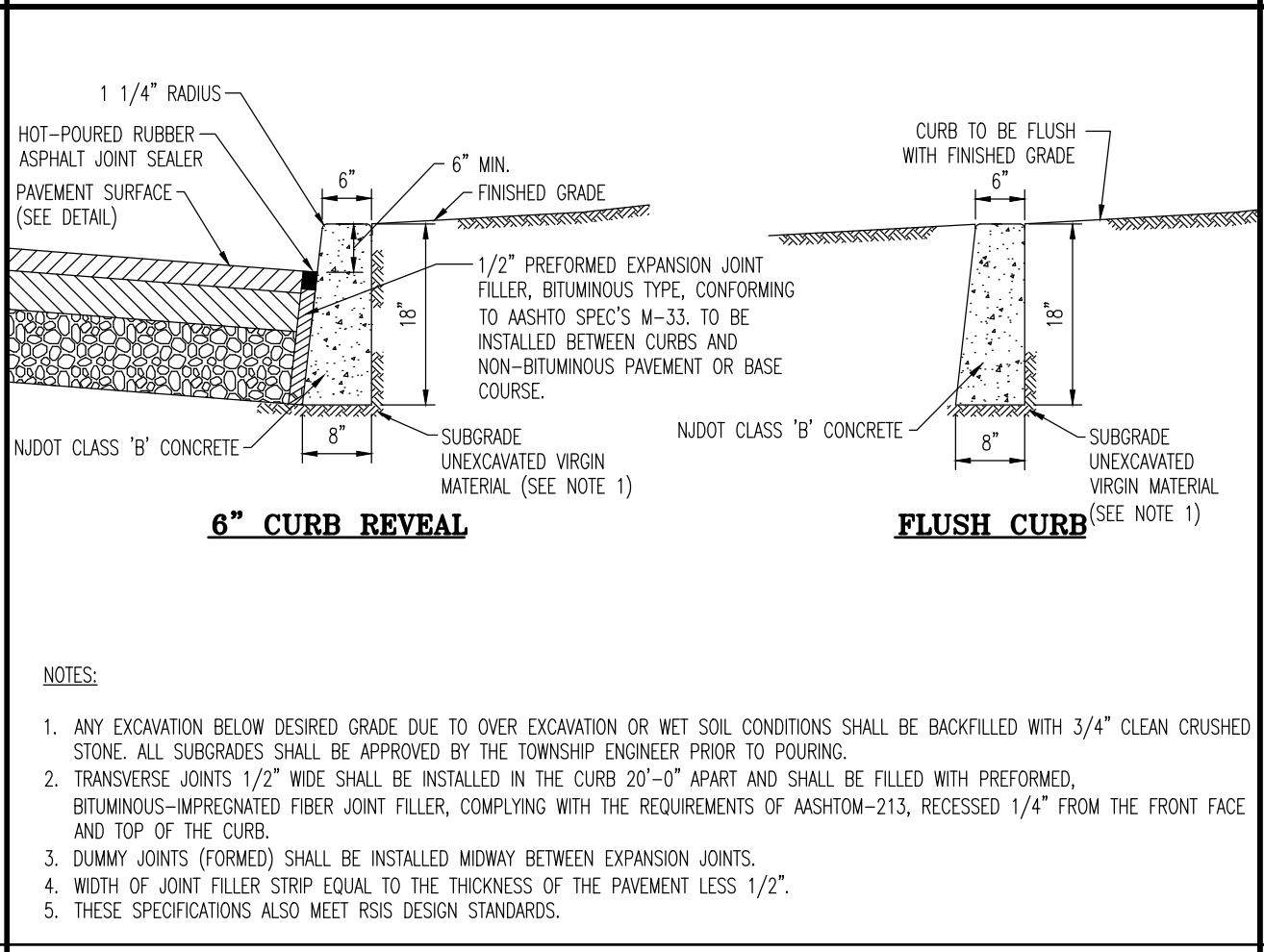
A.D.A. PARALLEL CURB RAMP DETAIL
NOT TO SCALE



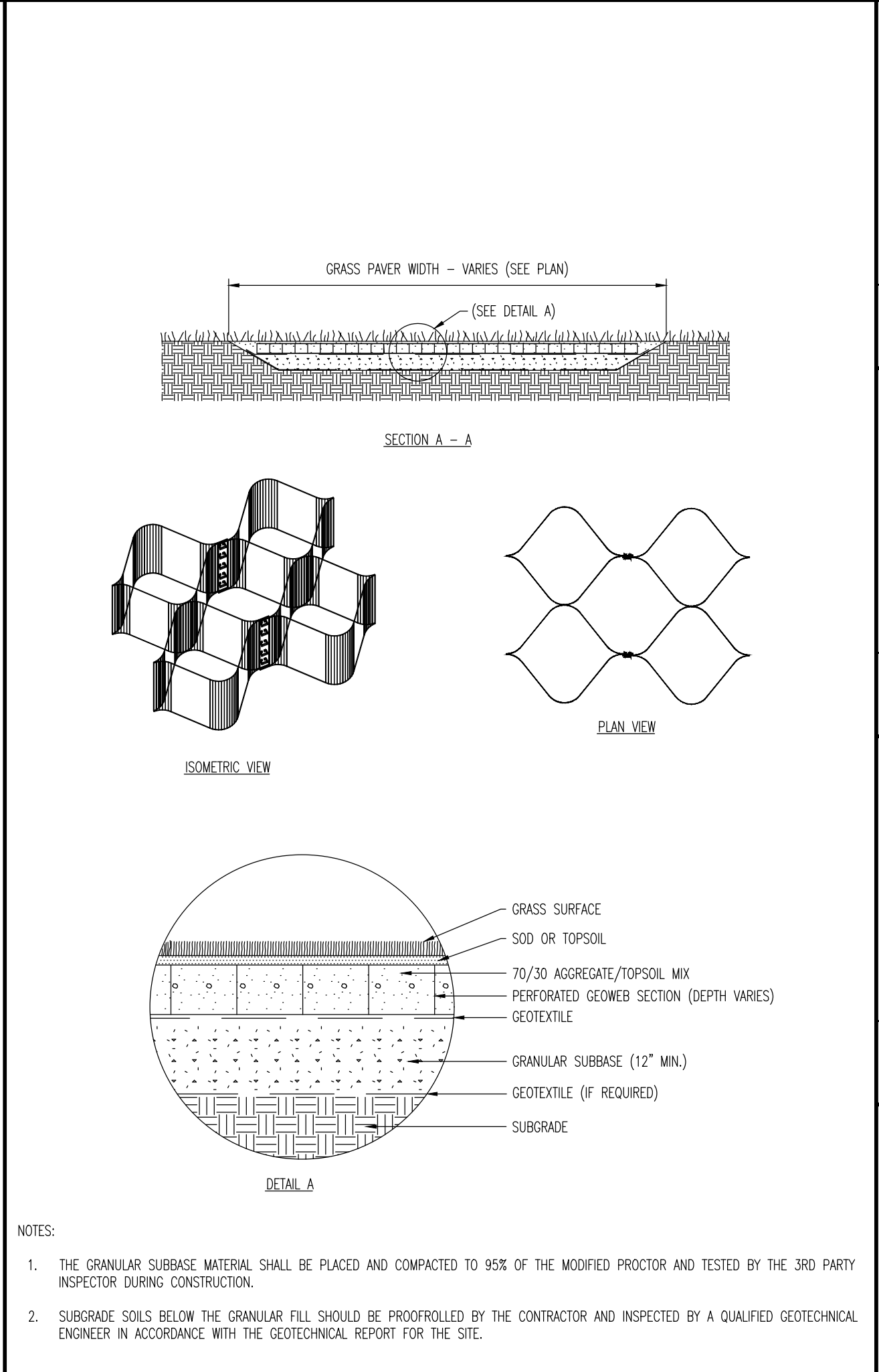
A.D.A. PERPENDICULAR CURB RAMP DETAIL (W/OUT FLARE SIDES)
NOT TO SCALE



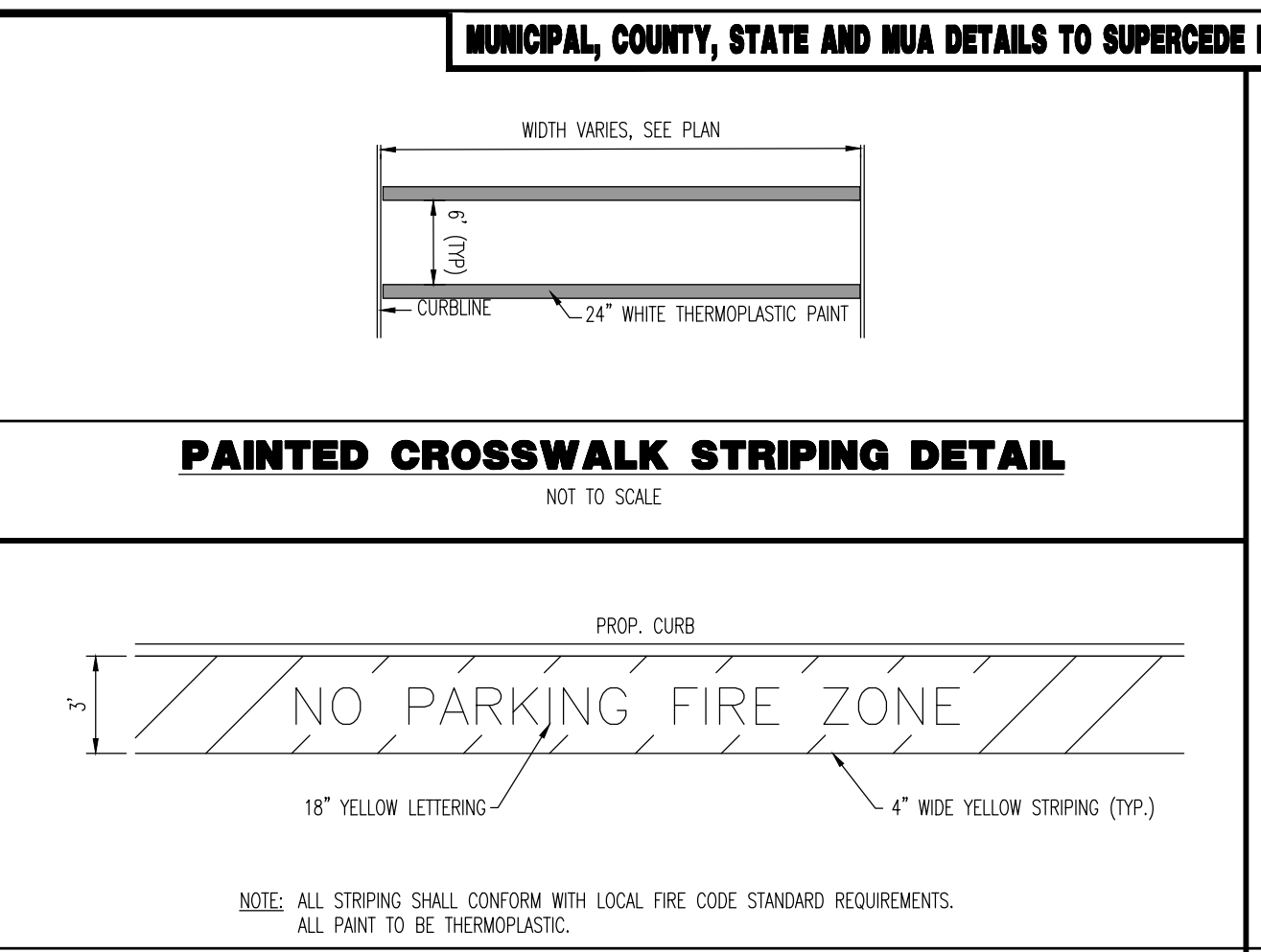
PAVING DETAIL
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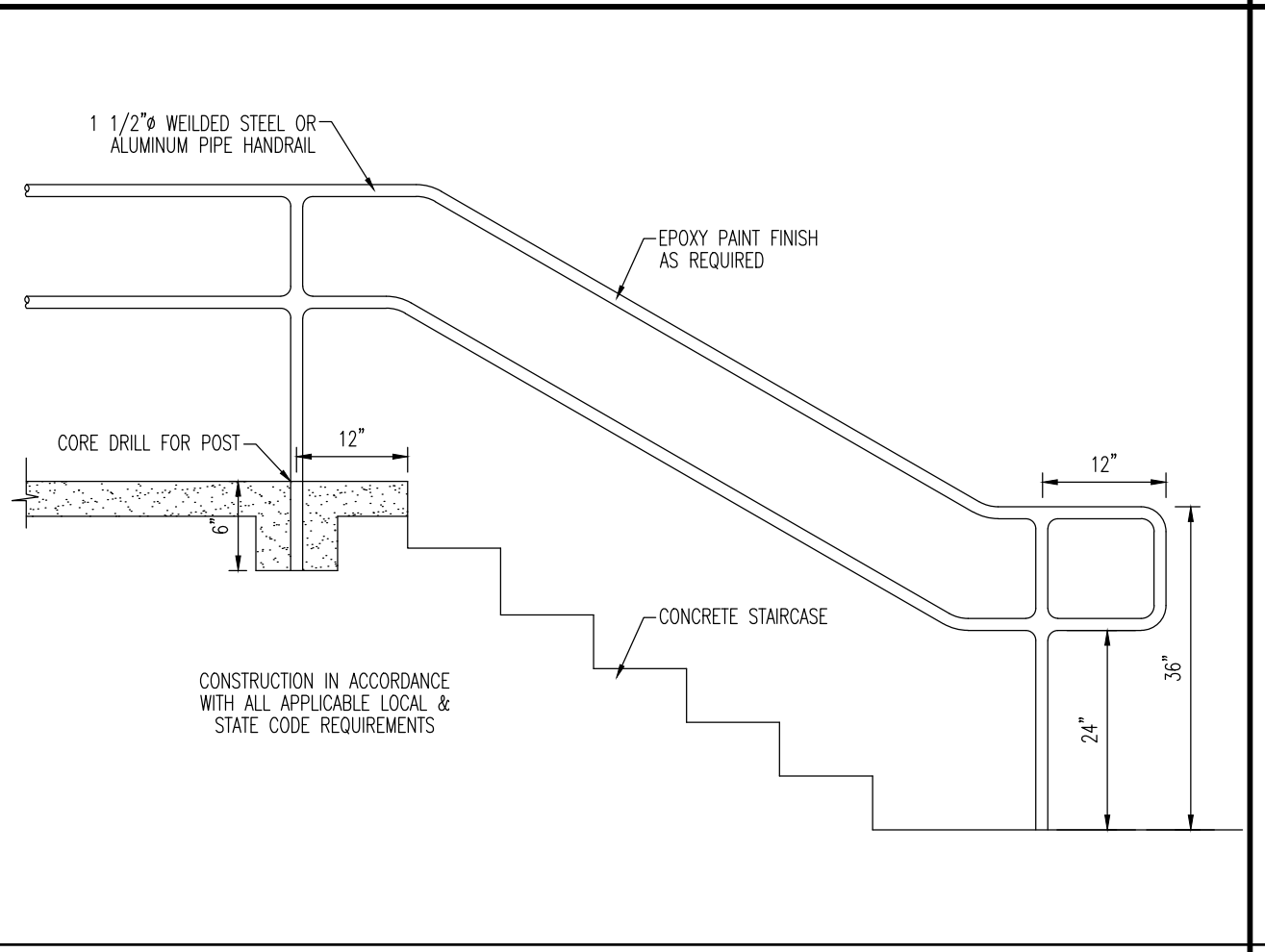
CONCRETE CURB DETAIL
NOT TO SCALE



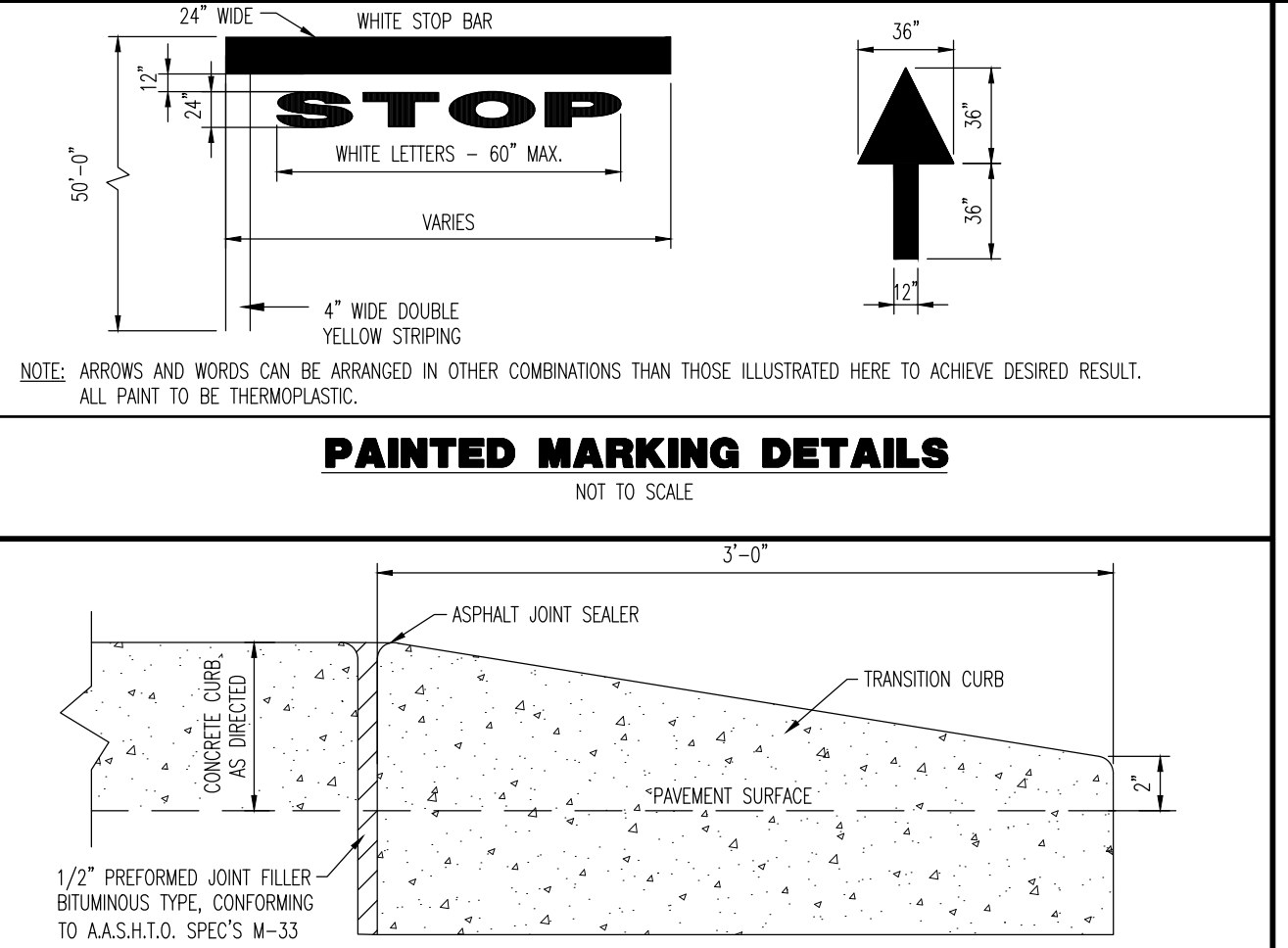
TYPICAL GRASS PAVER DETAILS
NOT TO SCALE



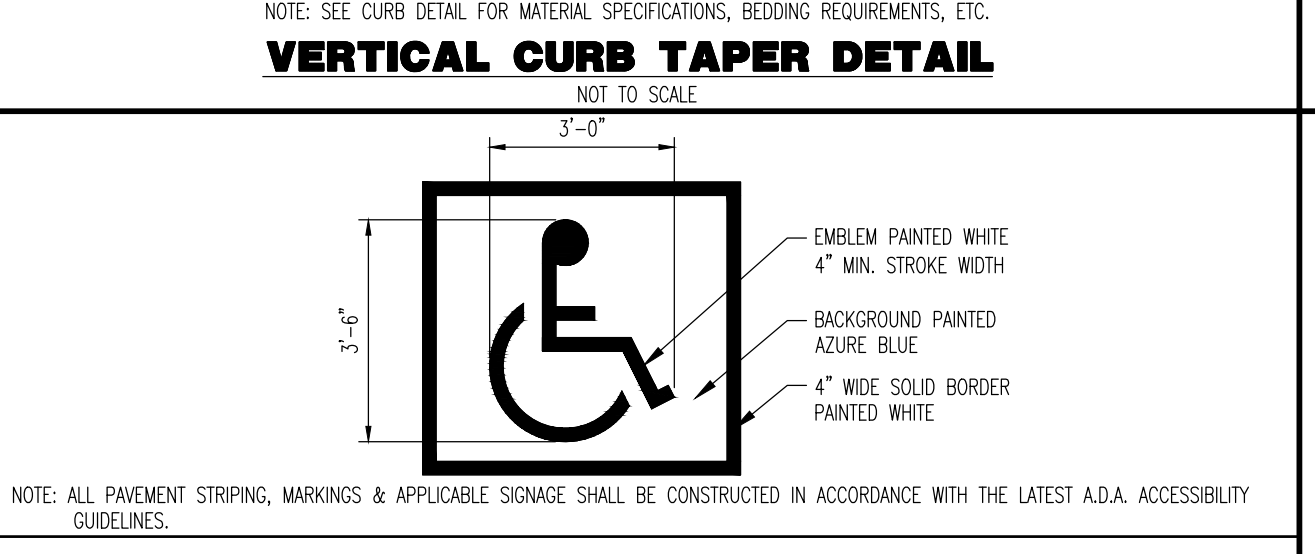
PAINTED CROSSWALK STRIPING DETAIL
NOT TO SCALE



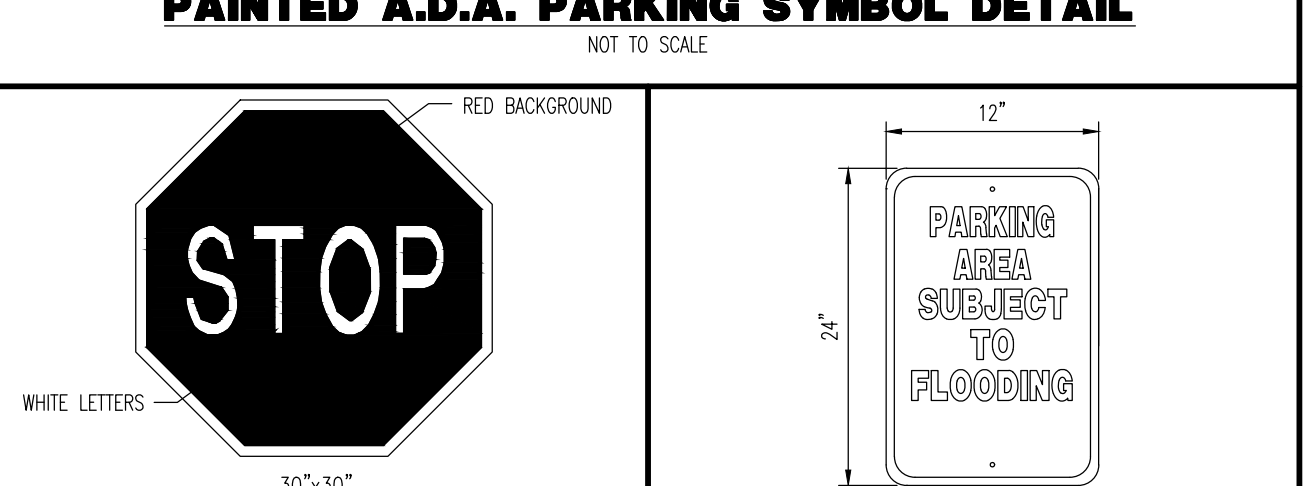
FIRE ZONE STRIPING DETAIL
NOT TO SCALE



PAINTED MARKING DETAILS
NOT TO SCALE



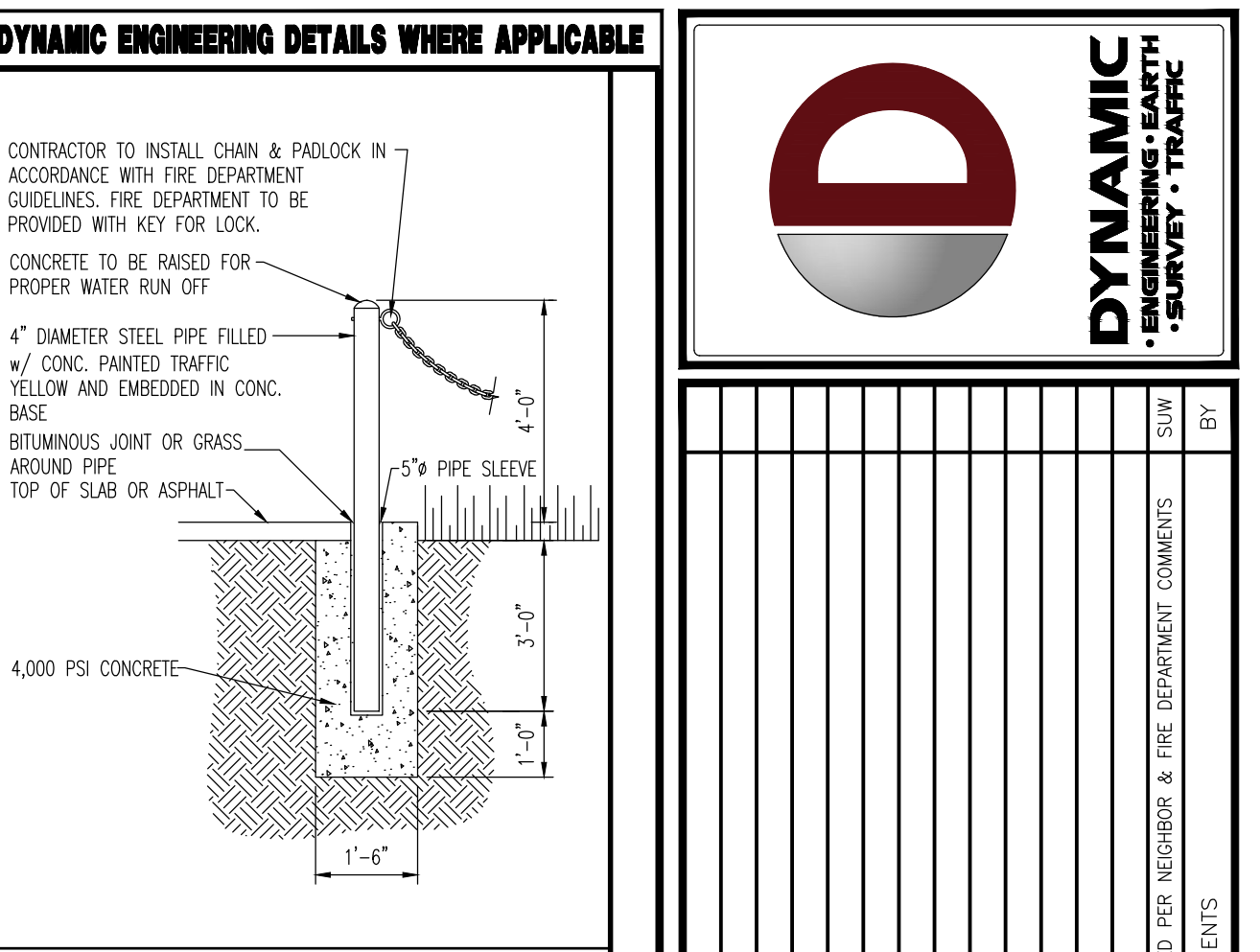
VERTICAL CURB TAPER DETAIL
NOT TO SCALE



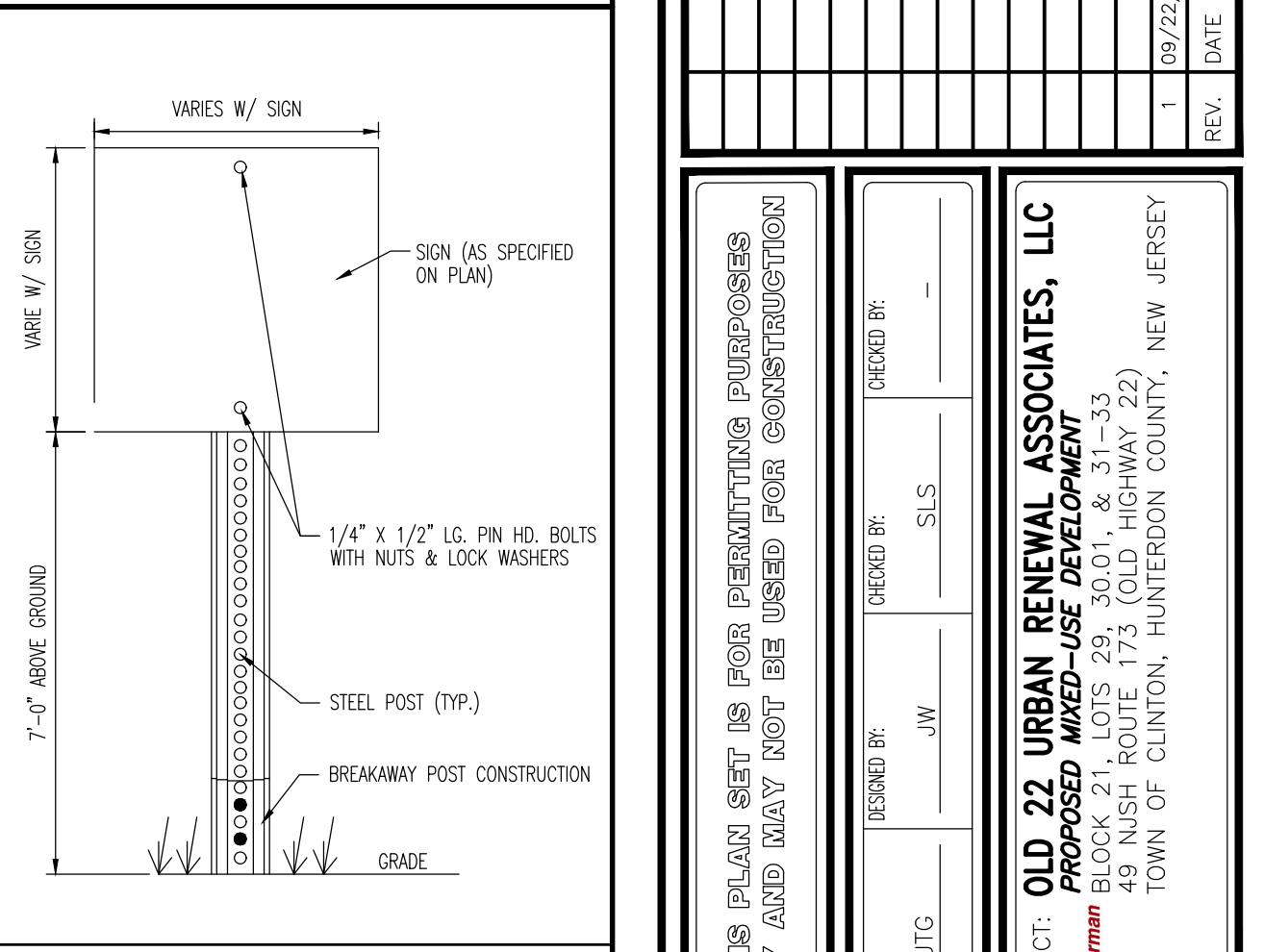
PAINTED A.D.A. PARKING SYMBOL DETAIL
NOT TO SCALE

R1-1 SIGN DETAIL
NOT TO SCALE

"PARKING AREA SUBJECT TO FLOODING" SIGN DETAIL
NOT TO SCALE



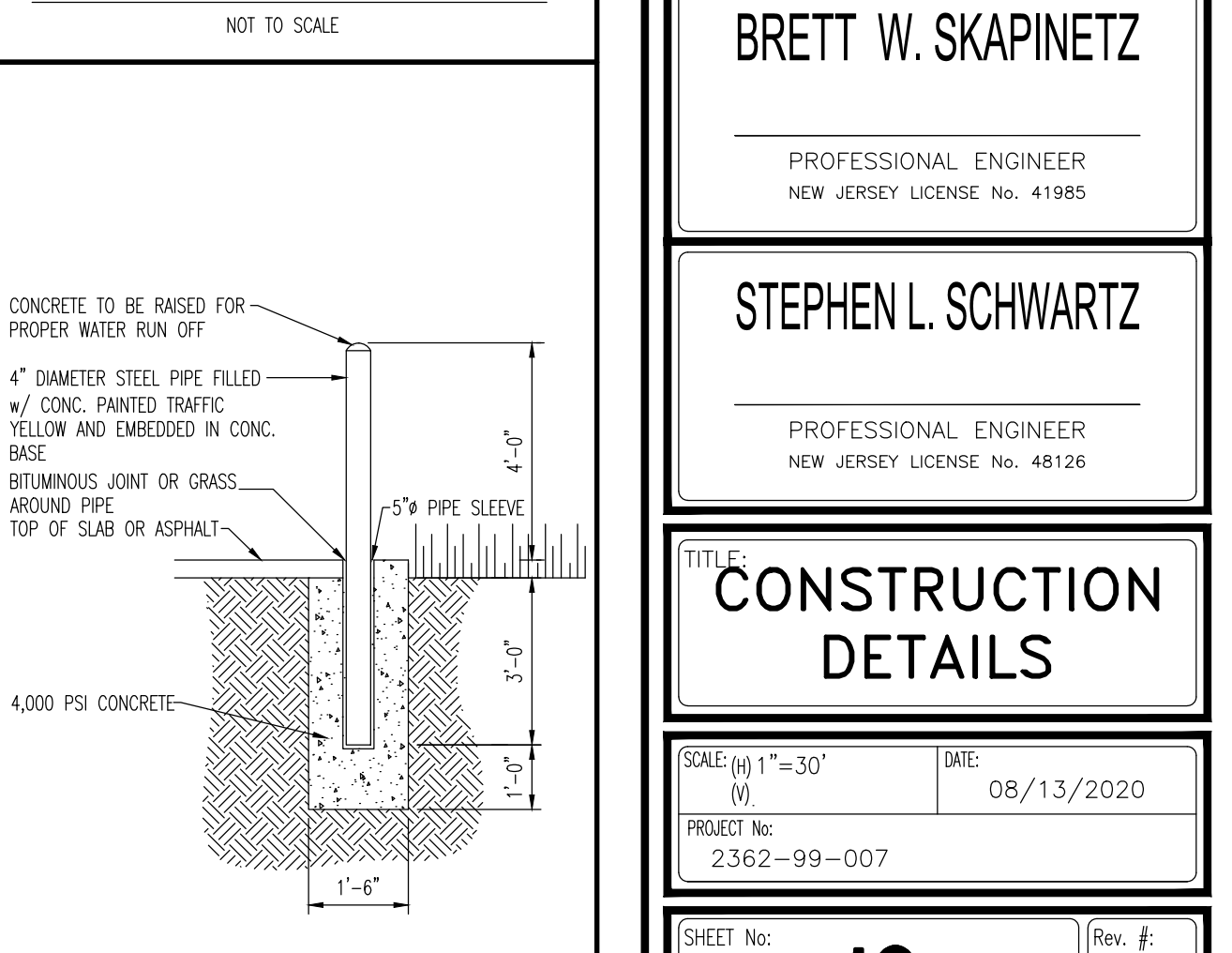
EMERGENCY ACCESS POST & CHAIN DETAIL
NOT TO SCALE



SIGN POST DETAIL
NOT TO SCALE



FIRE LANE SIGN DETAIL
NOT TO SCALE



FIRE ACCESS EDGE MARKER DETAIL
NOT TO SCALE

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<p>BRETT W. SKAPINETZ</p> <p>PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41985</p>	<p>STEPHEN L. SCHWARTZ</p> <p>PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 48126</p>
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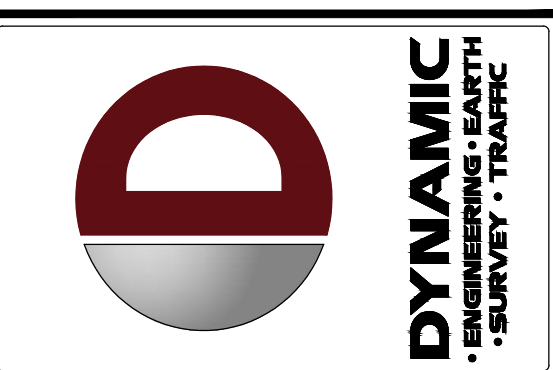
CONSTRUCTION DETAILS

SCALE: (H) 1" = 30'
(V) 1" = 4'

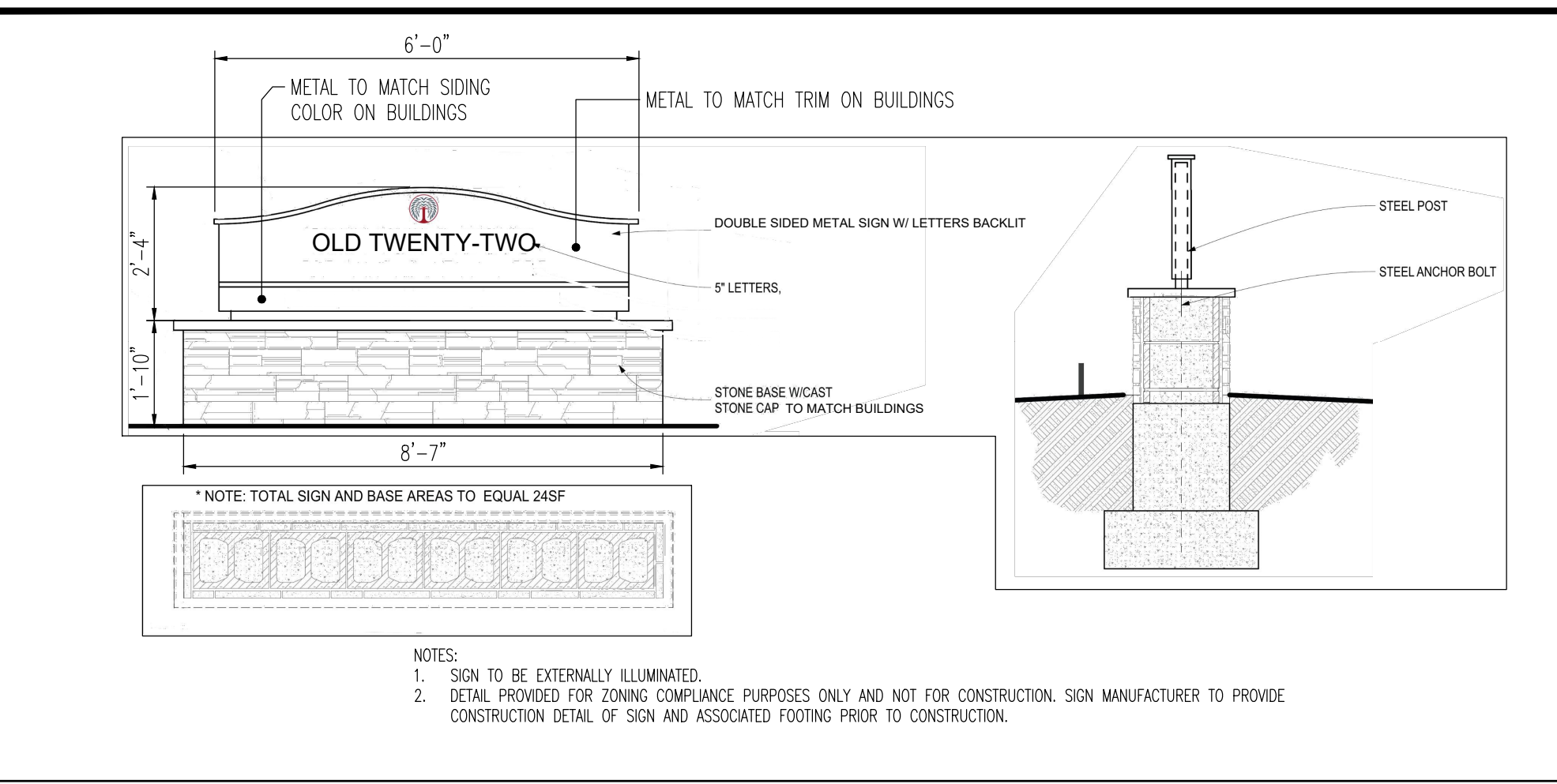
DATE: 08/13/2020

PROJECT No: 2362-99-007

SHEET No: **12** OF 18



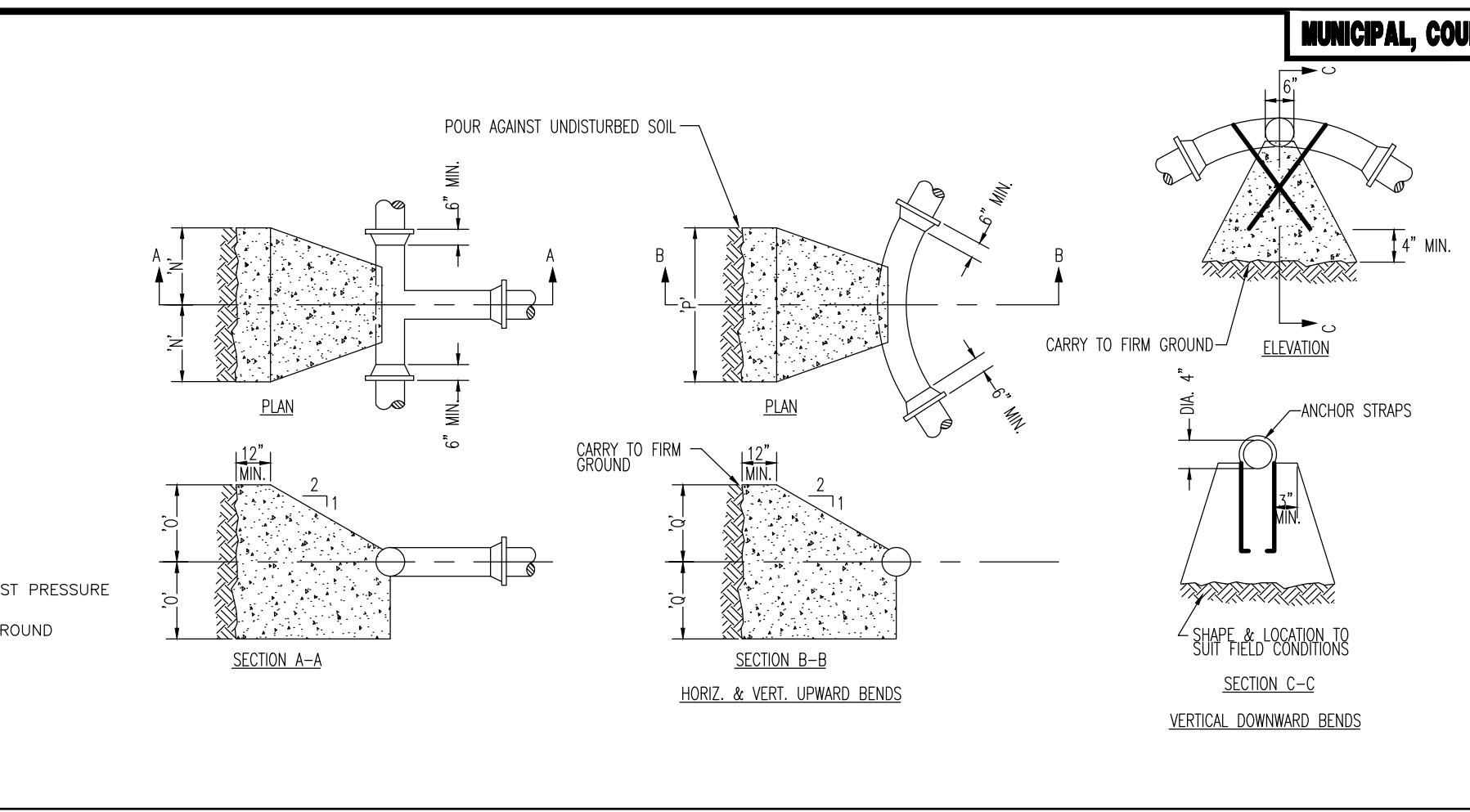
REV.	DATE	REVISIONS
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS



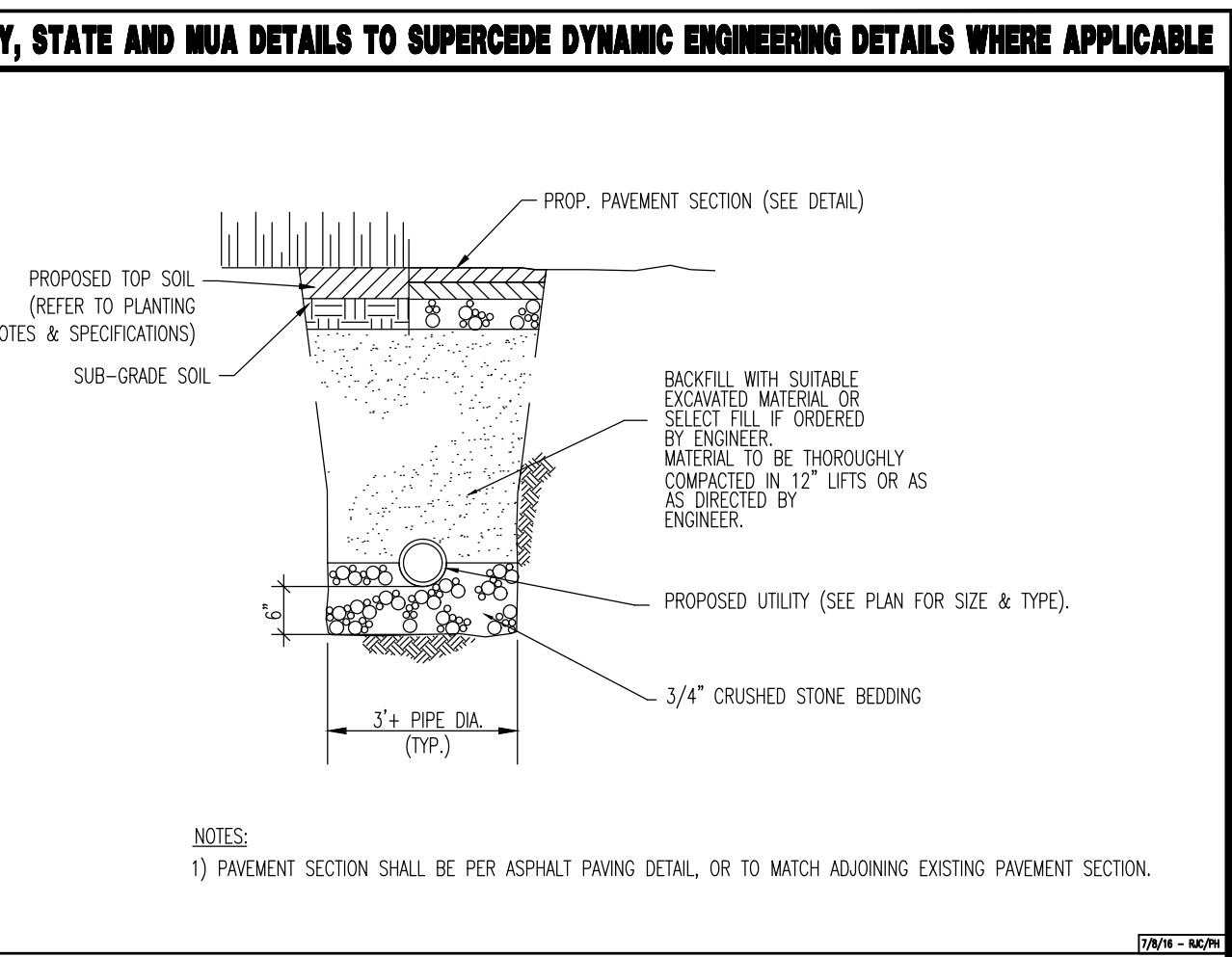
MONUMENT SIGN DETAIL
NOT TO SCALE

TEES		
DESIG.	DIMENSION	R/S
90° BENDS	12"	1/2"
45° BENDS	12"	1/2"
22 1/2° BENDS	12"	1/2"
11 1/4° BENDS	12"	1/2"
45° BENDS	12"	1/2"
22 1/2° BENDS	12"	1/2"
11 1/4° BENDS	12"	1/2"

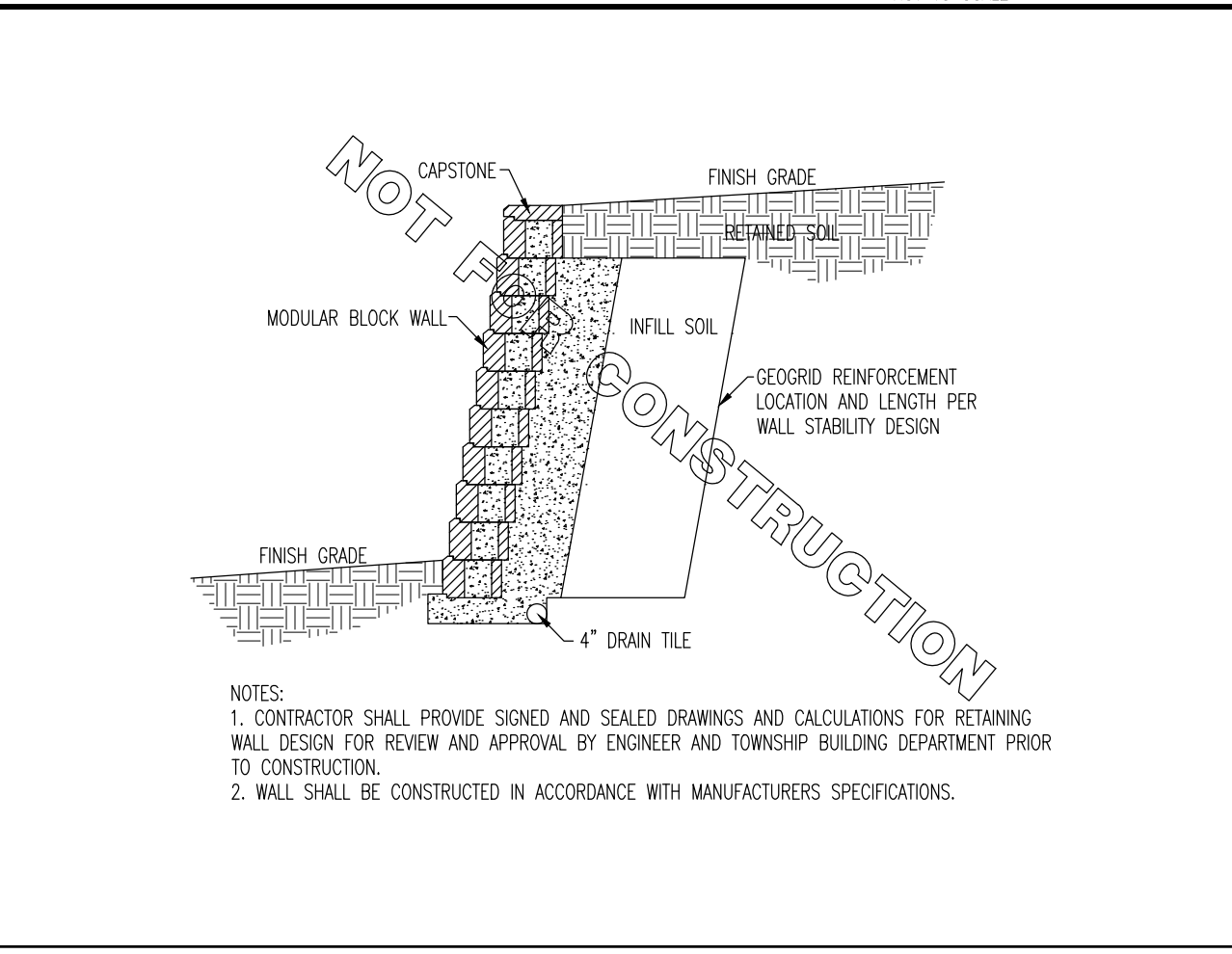
ANCHOR SCHEDULE FOR VERT. DOWNWARD BENDS:
 8" #5 BAR
 6" #4 BAR



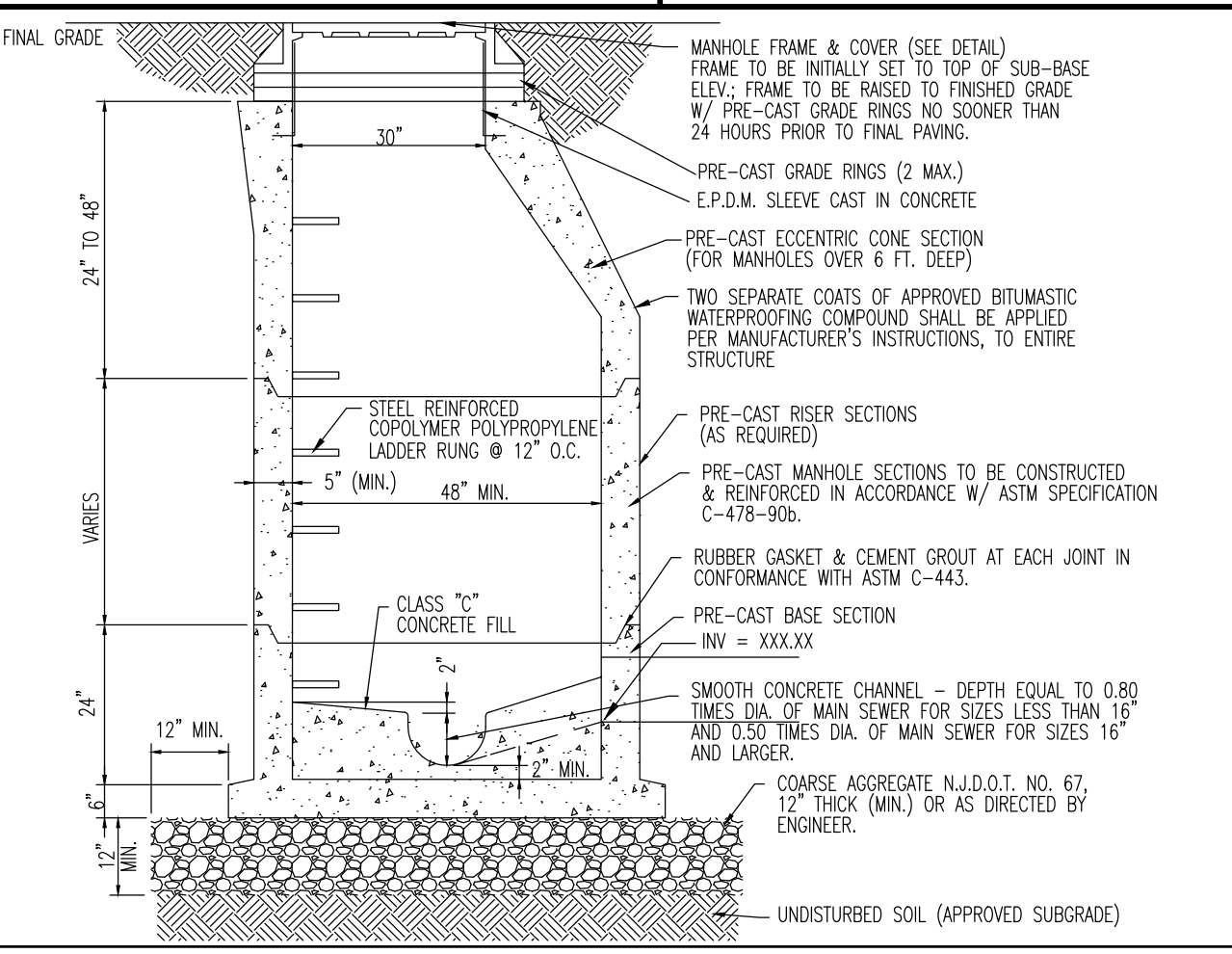
THRUST BLOCK DETAILS
NOT TO SCALE



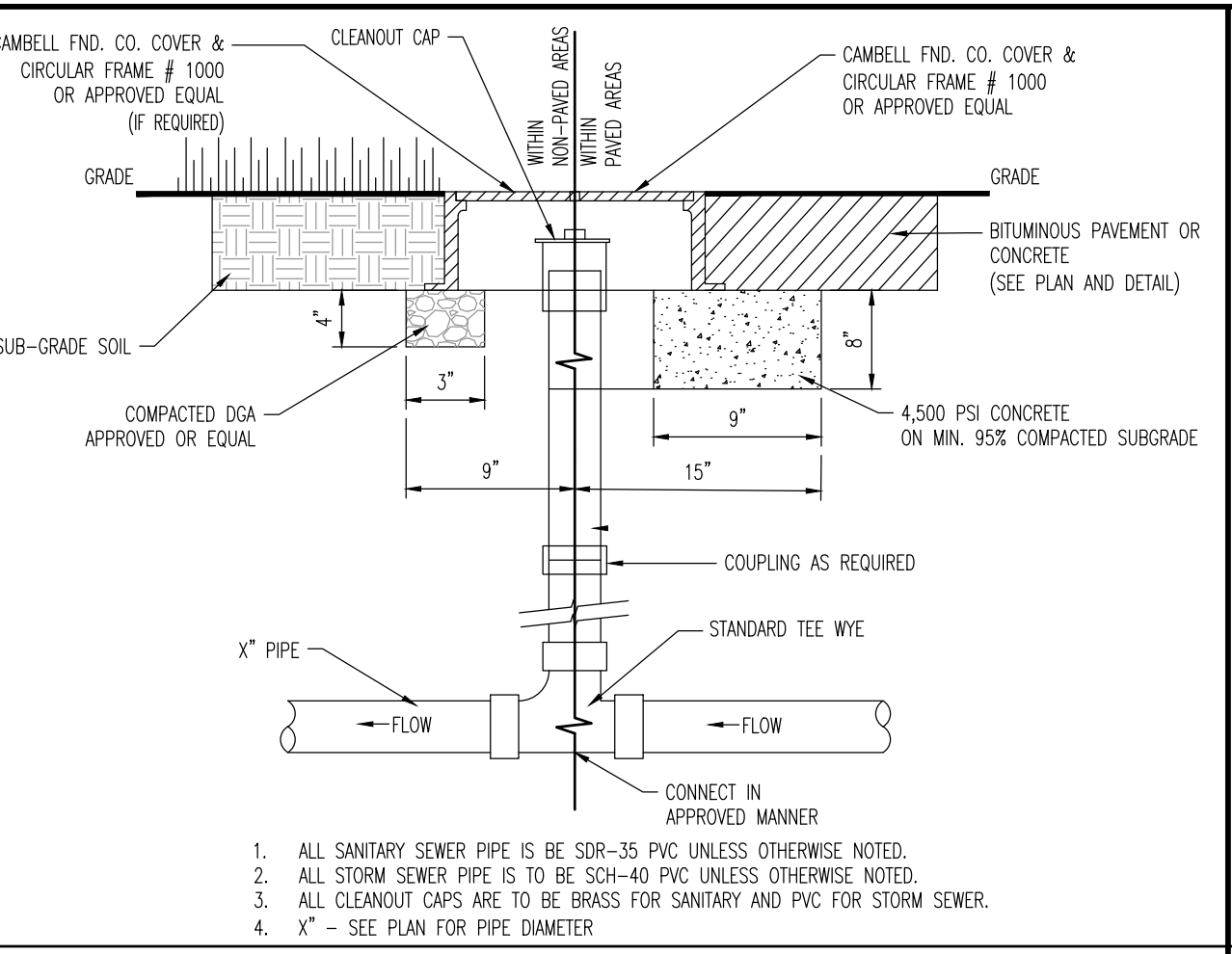
UTILITY SERVICE TRENCH DETAIL
NOT TO SCALE



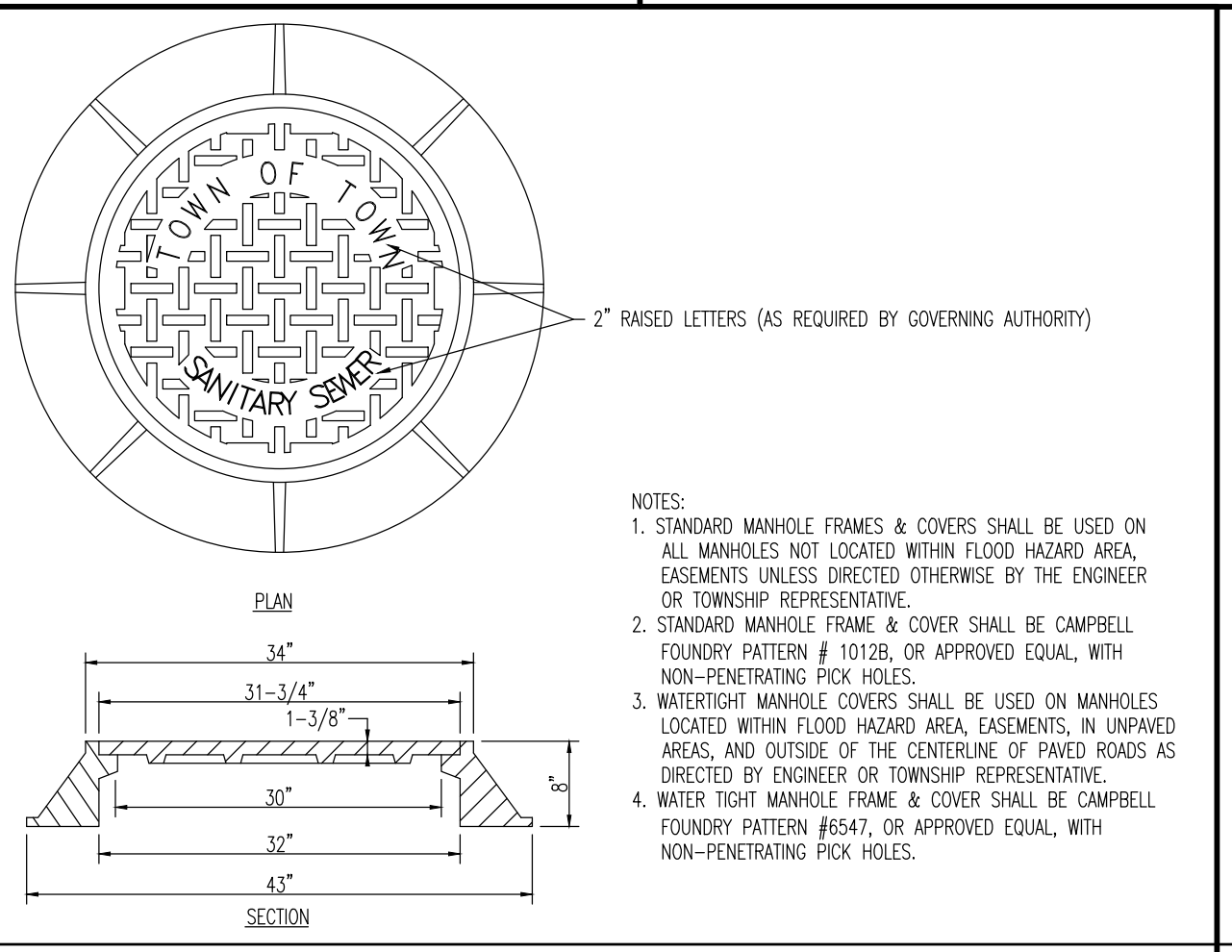
TYPICAL MODULAR BLOCK WALL DETAIL
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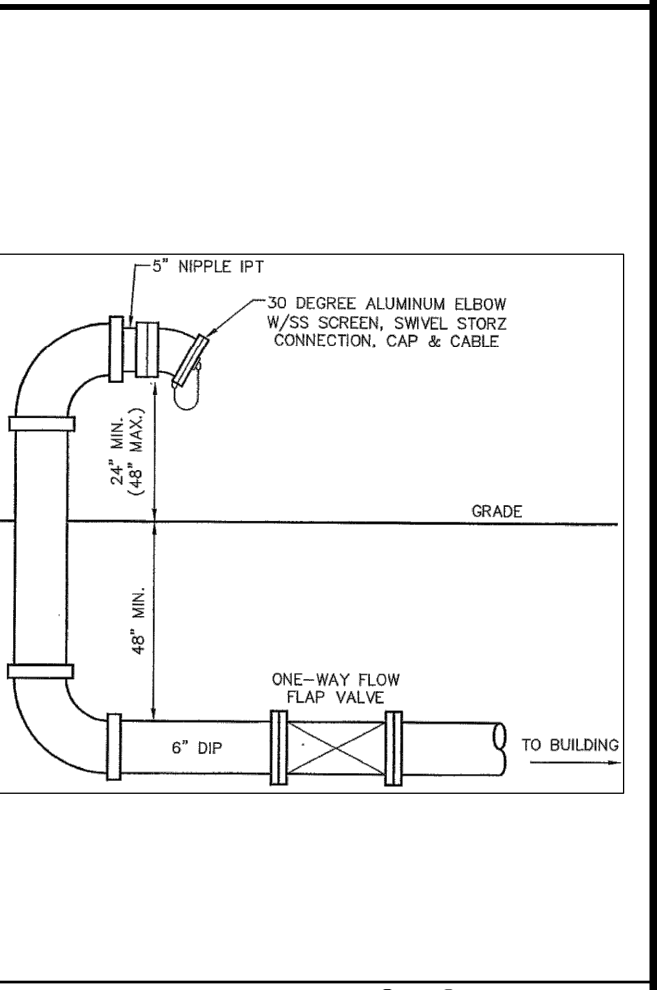
PRECAST SANITARY MANHOLE
NOT TO SCALE



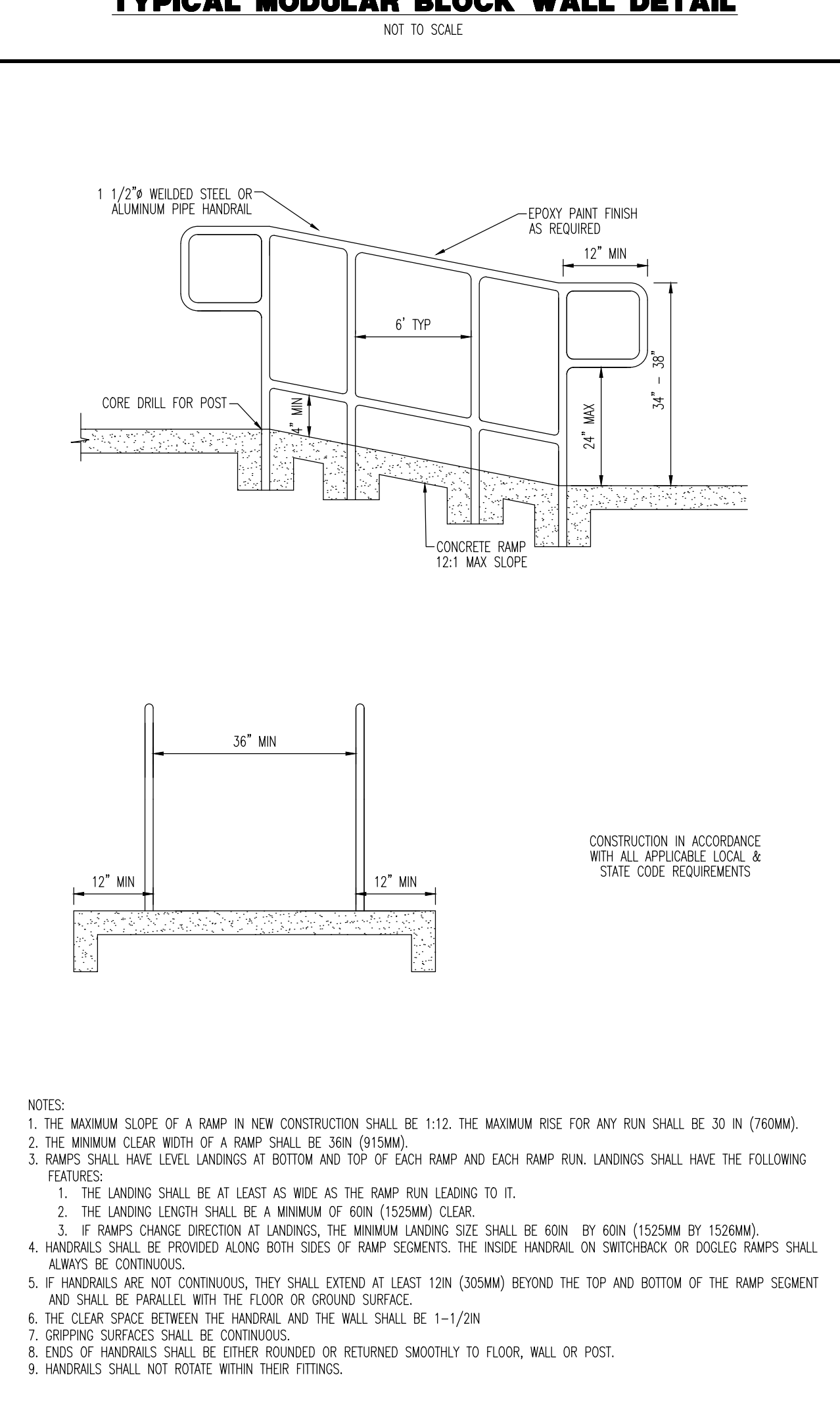
CLEANOUT DETAIL
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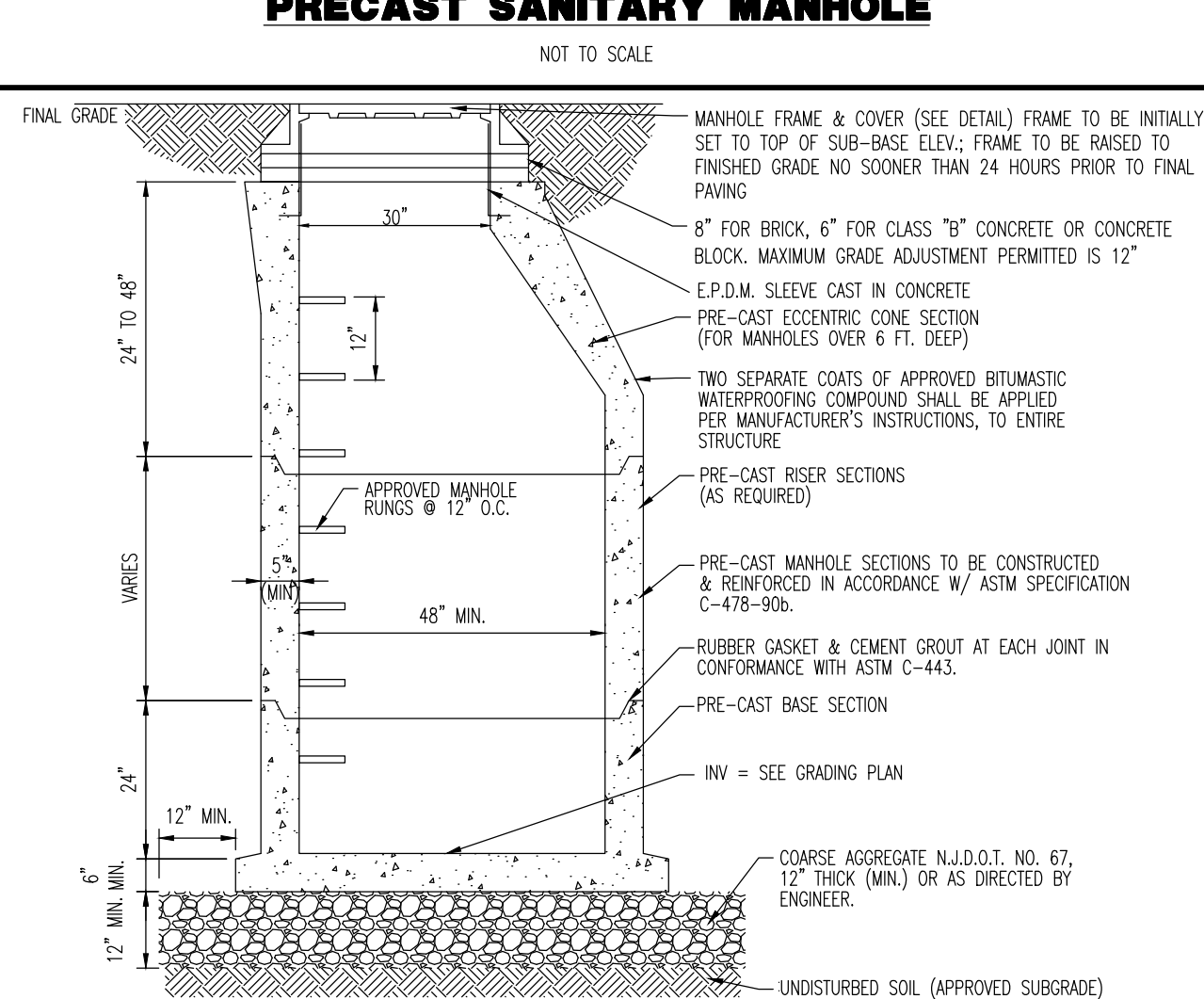
SANITARY MANHOLE FRAME DETAIL
NOT TO SCALE



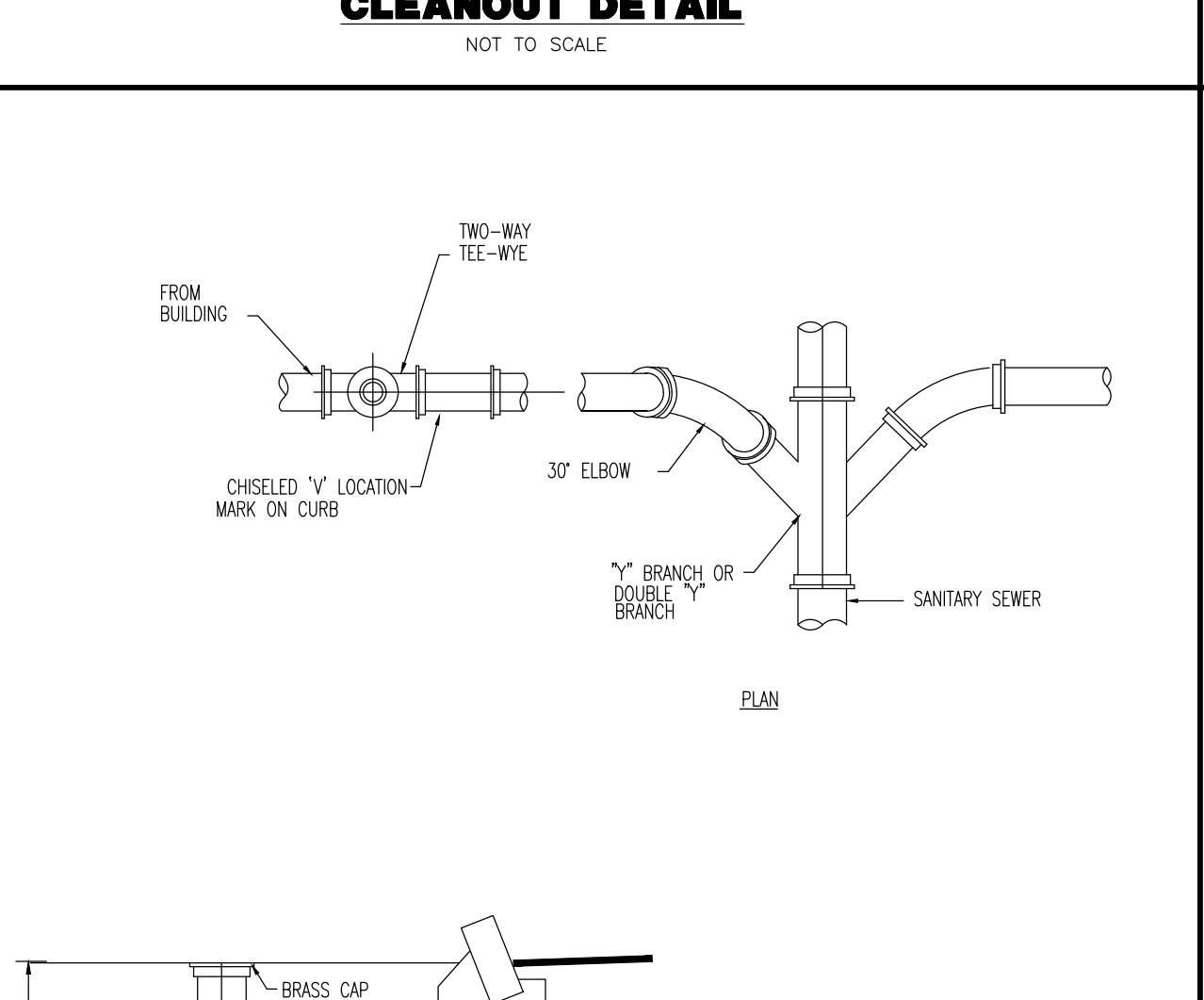
EXTERNAL STORZ FDC DETAIL
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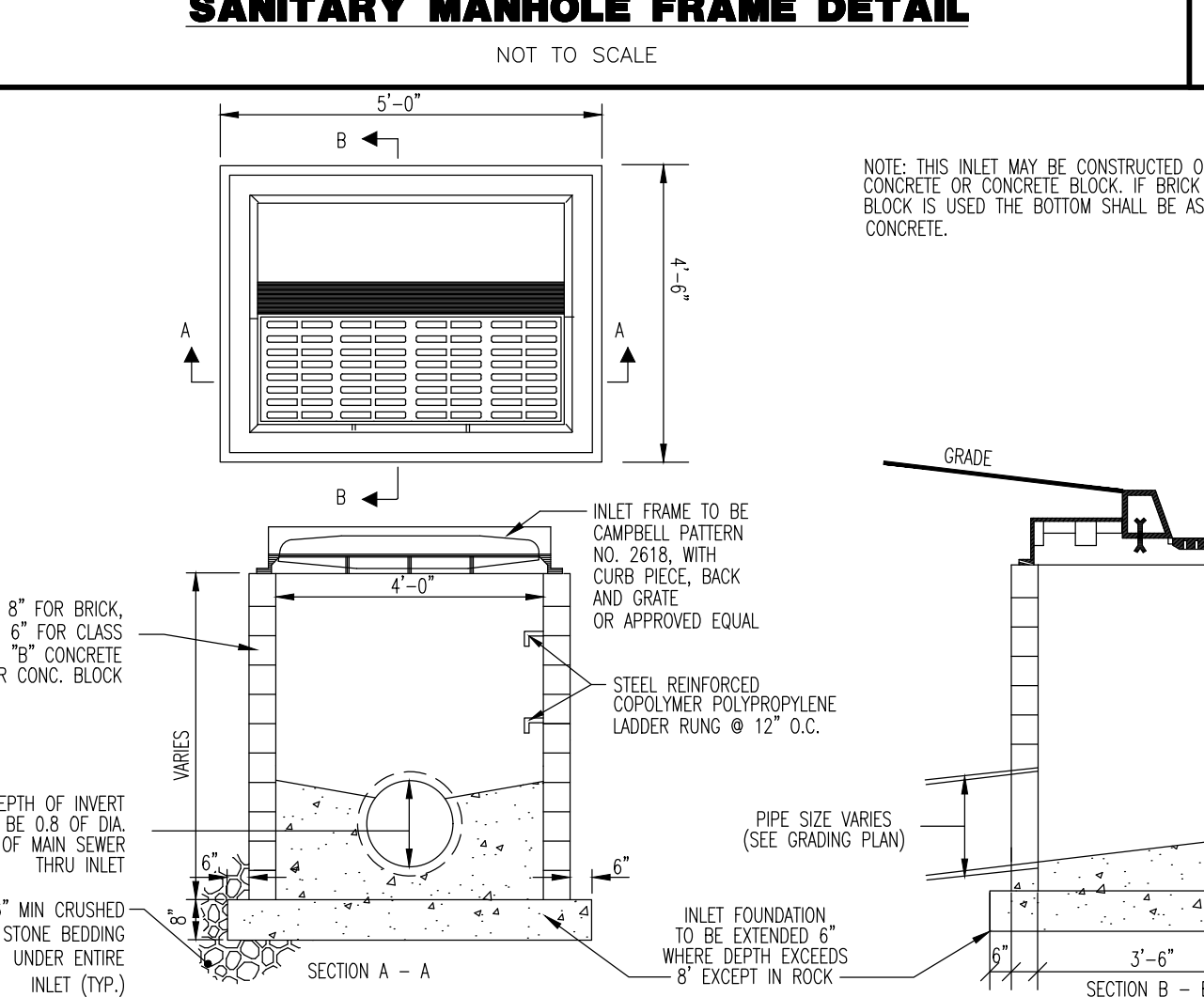
HANDRAIL AT A.D.A ACCESSIBLE RAMP DETAIL
NOT TO SCALE



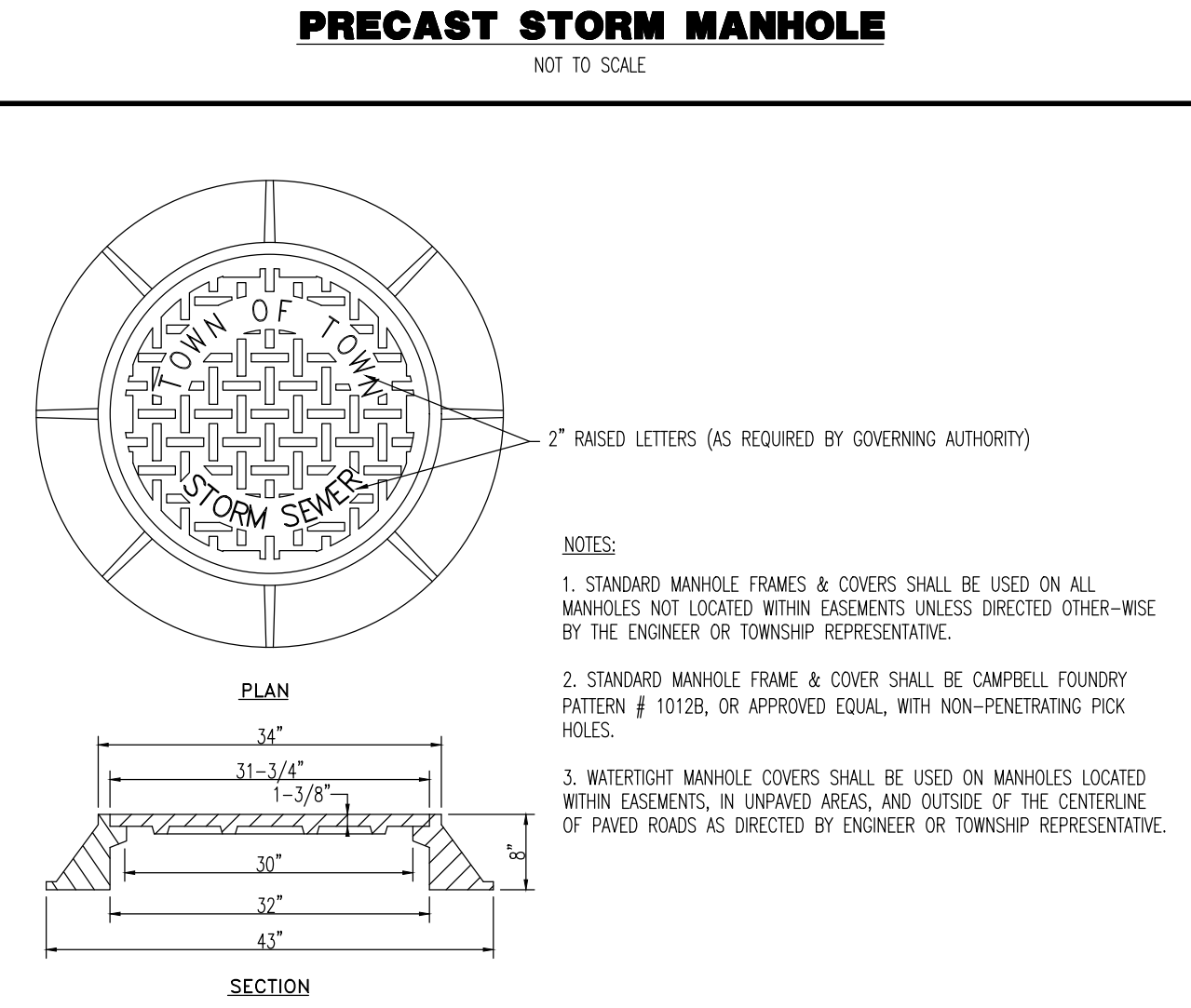
PRECAST STORM MANHOLE
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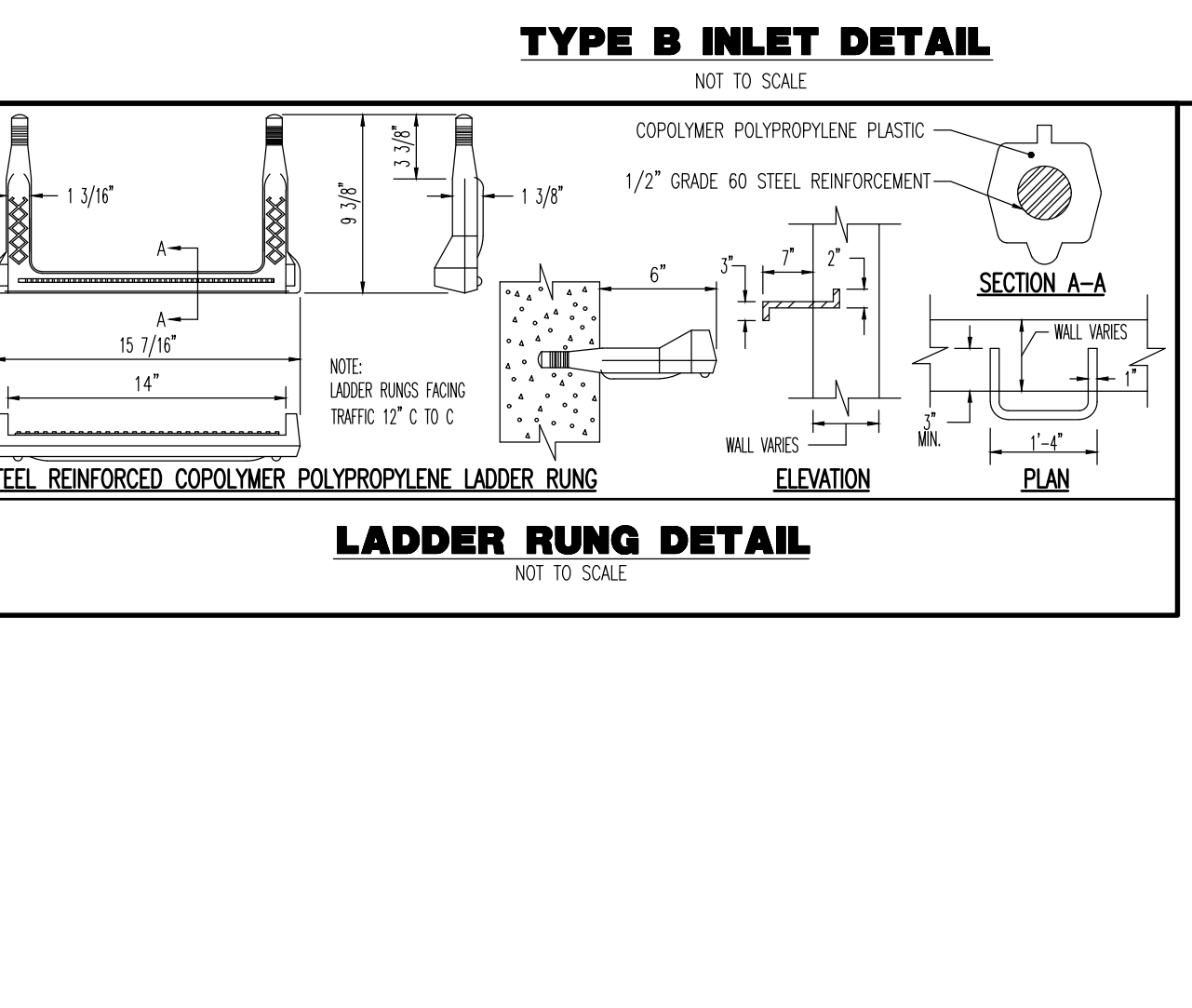
STANDARD CONNECTION DETAIL
NOT TO SCALE



TYPE B INLET DETAIL
NOT TO SCALE



STORM MANHOLE FRAME DETAIL
NOT TO SCALE



LADDER RUNG DETAIL
NOT TO SCALE

- NOTES:
- THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN (760MM).
 - THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 36IN (915MM).
 - RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - THE LANDING LENGTH SHALL BE A MINIMUM OF 60IN (1525MM) CLEAR.
 - IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60IN BY 60IN (1525MM BY 1525MM).
 - HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
 - IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12IN (305MM) BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE.
 - THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2IN
 - GRIPPING SURFACES SHALL BE CONTINUOUS.
 - ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.
 - HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

- NOTES:
- STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN FLOOD HAZARD AREAS, EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR TOWNSHIP REPRESENTATIVE.
 - STANDARD MANHOLE FRAME & COVER SHALL BE CAMBELL FOUNDRY PATTERN # 1012B, OR APPROVED EQUAL, WITH NON-PENETRATING PICK HOLES.
 - WATERTIGHT MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, AND OUTSIDE OF THE CENTERLINE OF PAVED ROADS AS DIRECTED BY ENGINEER OR TOWNSHIP REPRESENTATIVE.

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PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
 PROPOSED MIXED-USE DEVELOPMENT
 BLOCK 21, LOTS 29, 30.01, & 31-33
 49 NUSH ROUTE 173 (OLD HIGHWAY 22)
 TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

DESIGNED BY: SLS
 CHECKED BY: JMW
 DRAWN BY: JTG

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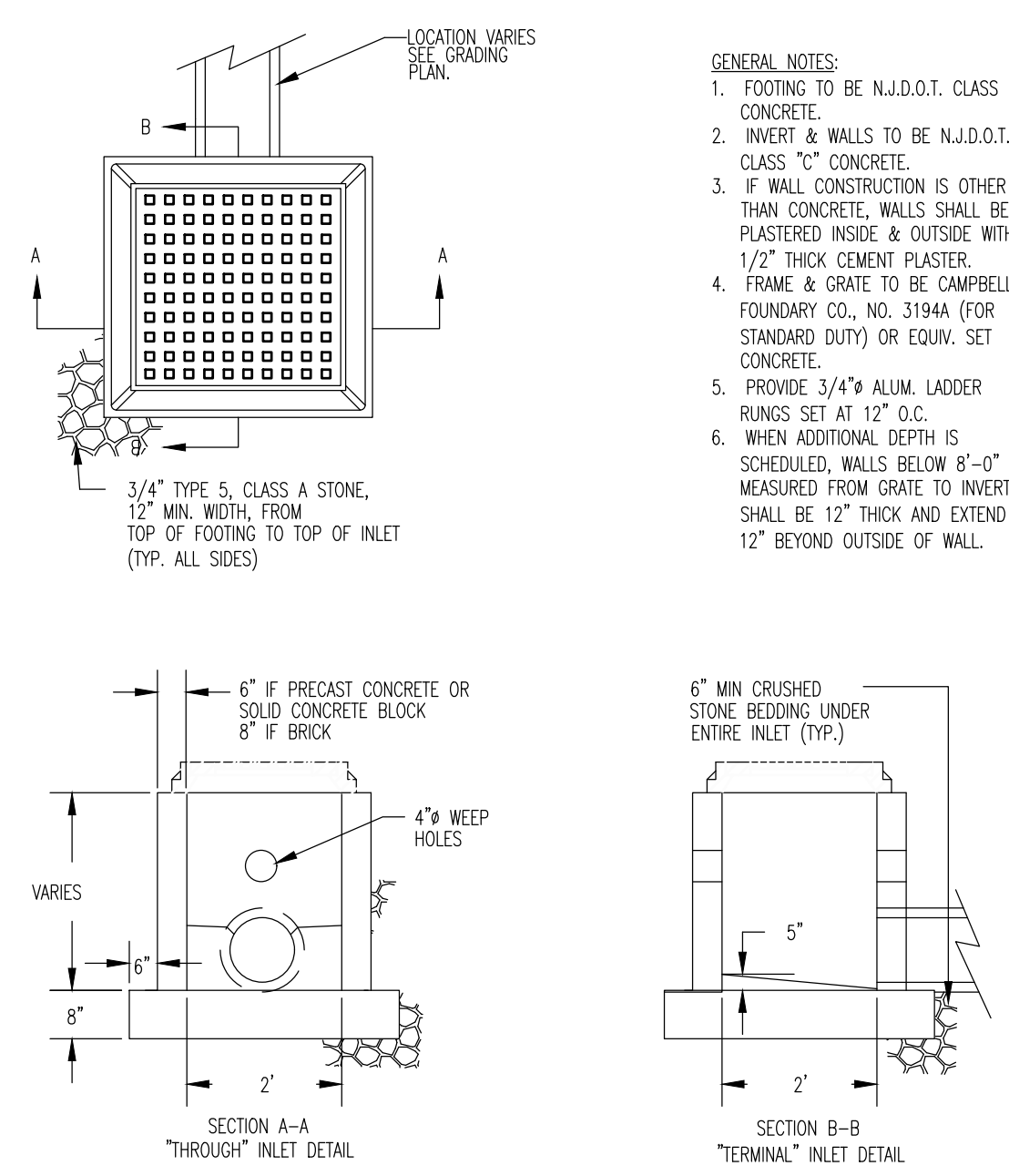
TITLE: **CONSTRUCTION DETAILS**

SCALE: (H) 1" = 30'
 (V) 1" = 4'

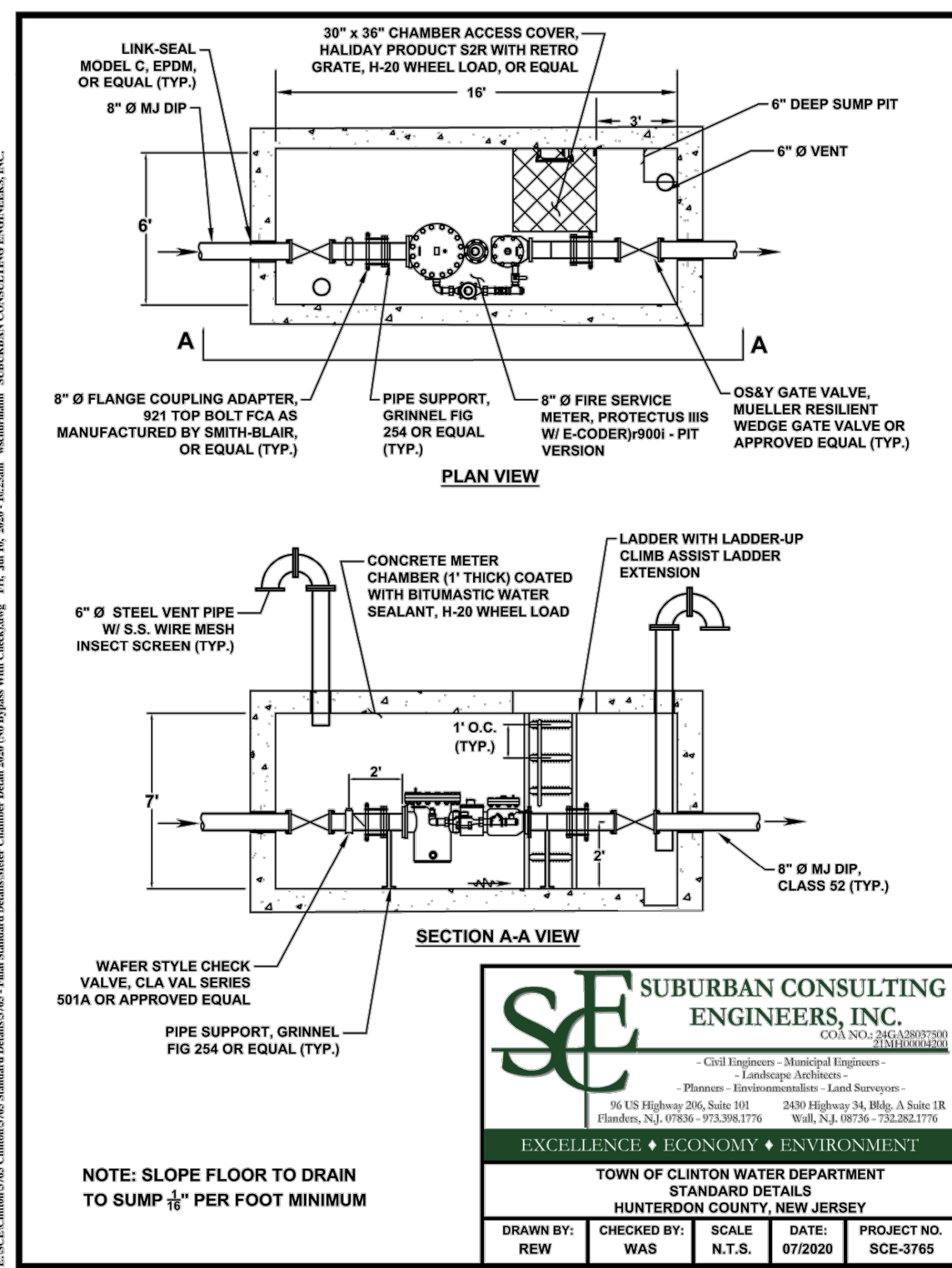
DATE: 08/13/2020

PROJECT No: 2362-99-007

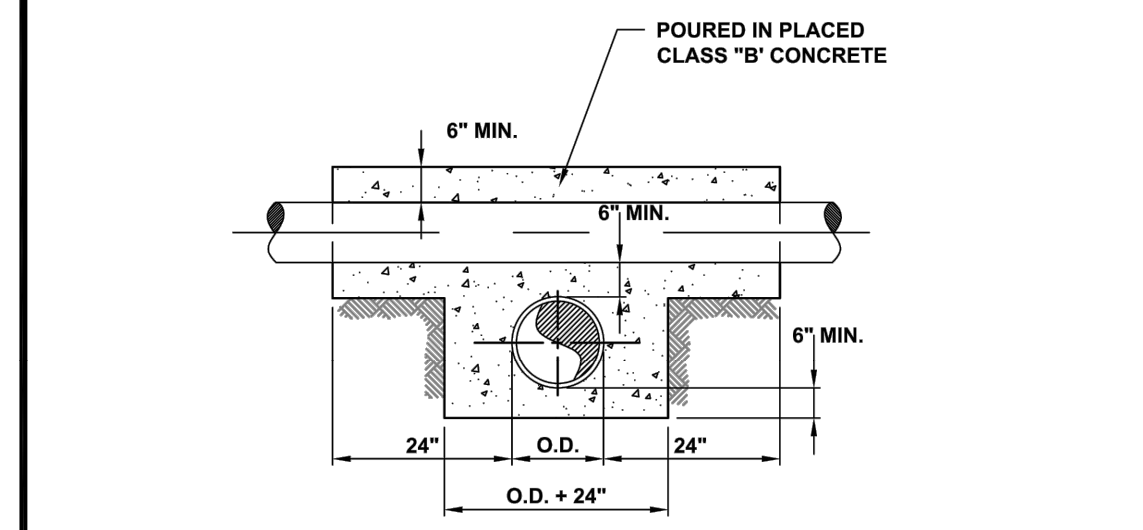
SHEET No: **13** OF 18



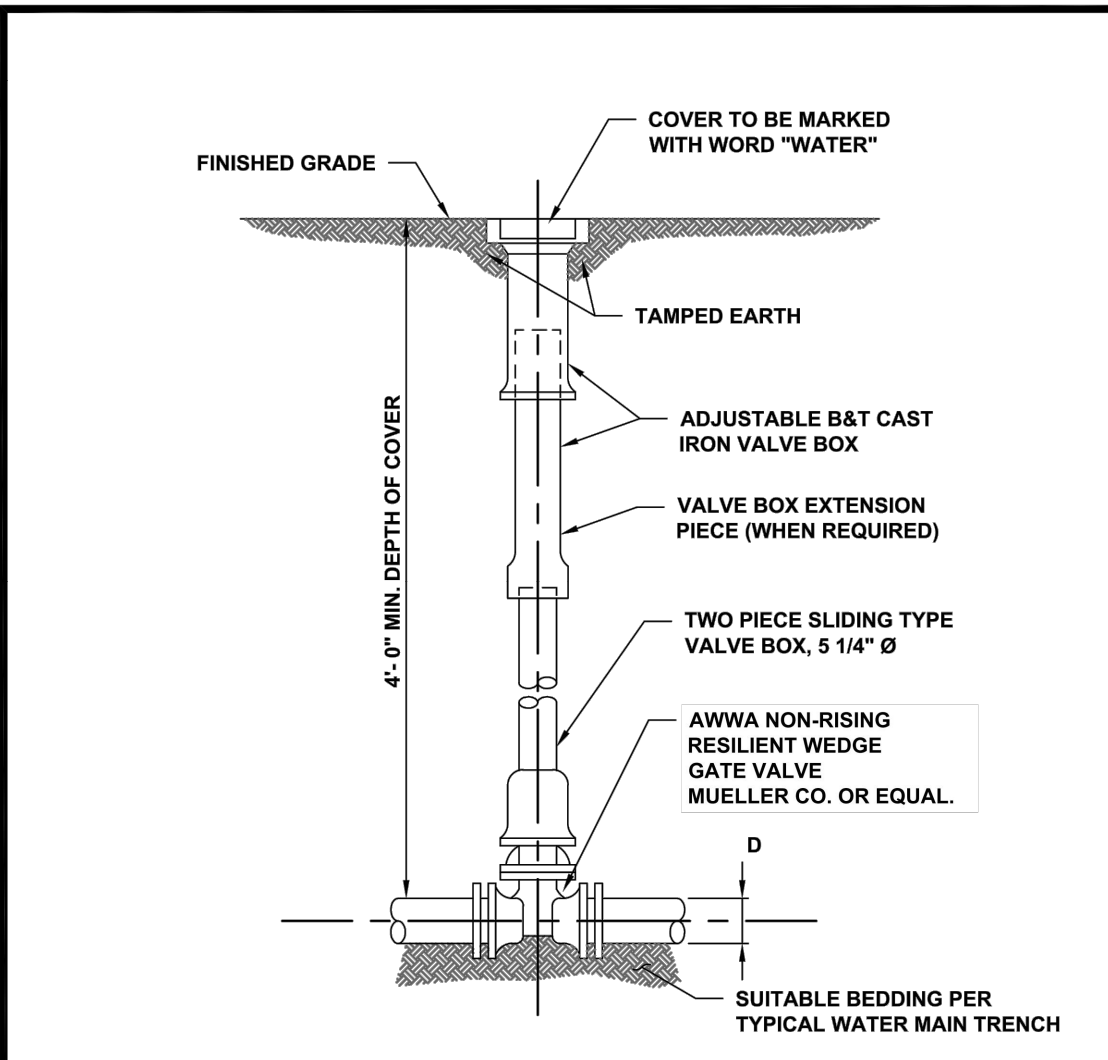
2 X 2 YARD INLET DETAIL
NOT TO SCALE



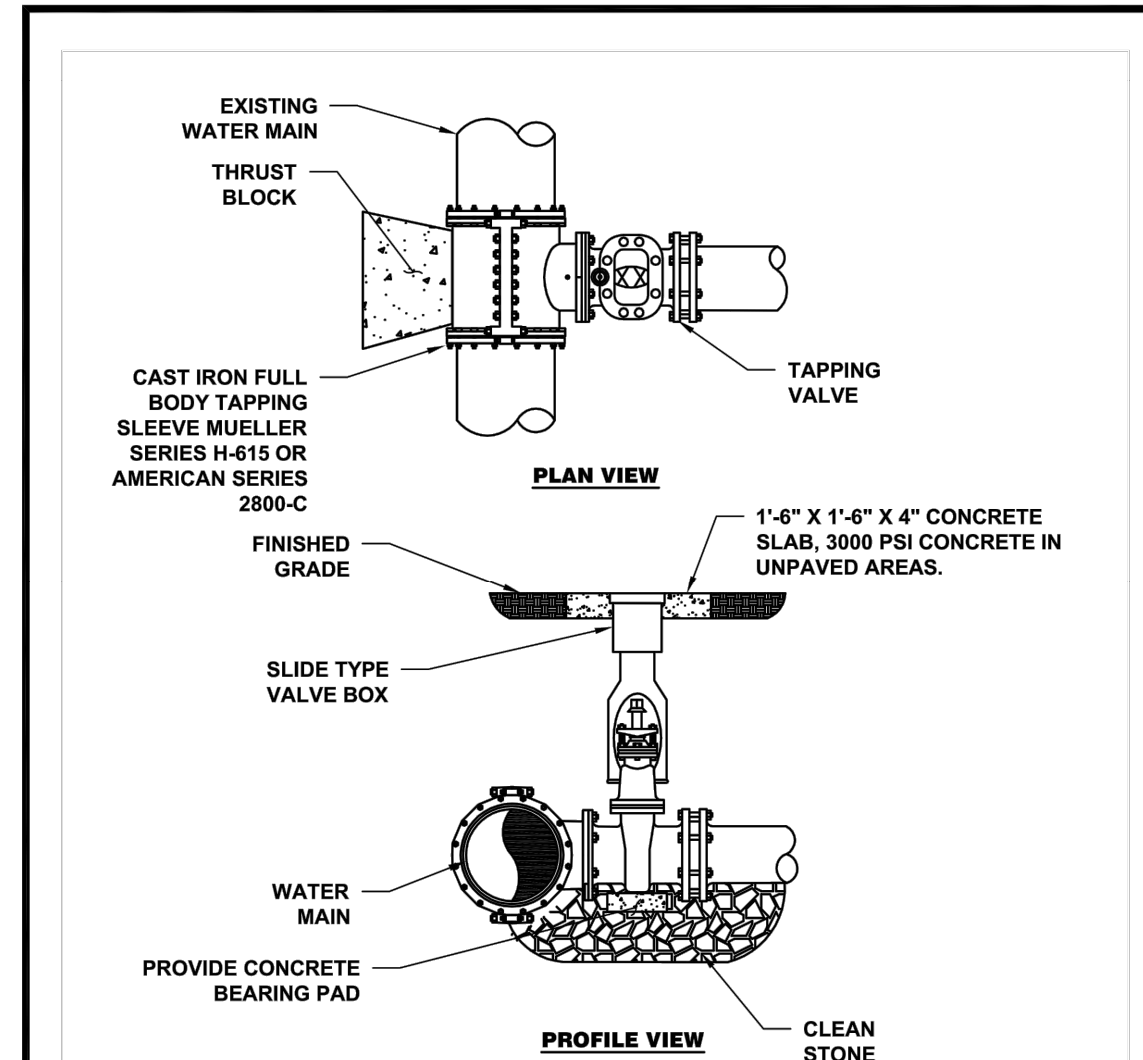
TYPICAL WATER MAIN TRENCH DETAIL
N.T.S.



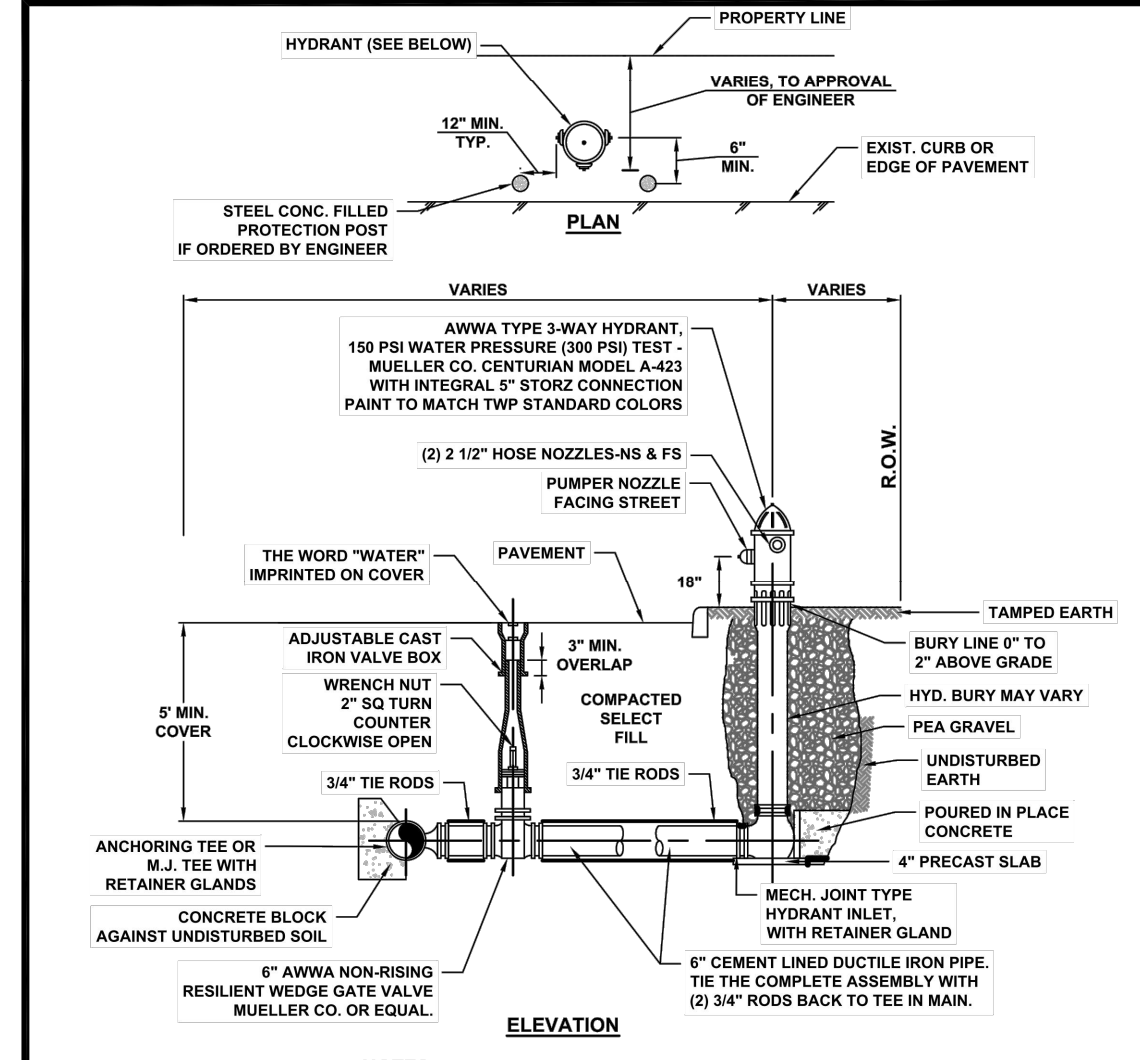
UTILITY CROSSING DETAIL
N.T.S.



GATE VALVE & BOX DETAIL
N.T.S.



TAPPING SLEEVE AND VALVE DETAIL
N.T.S.



TYPICAL HYDRANT INSTALLATION DETAIL
N.T.S.

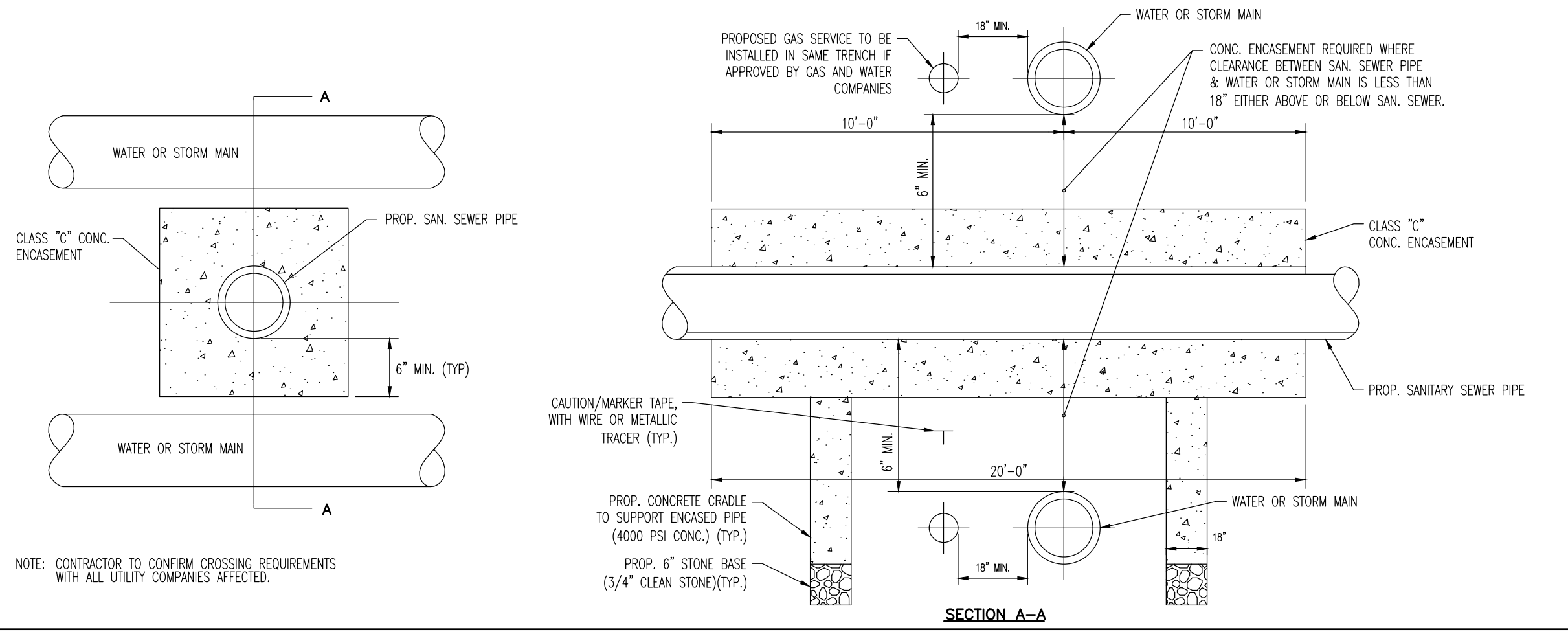
Tideflex
CheckMate® Configurations and Custom Designs

CheckMate® can be made for any pipe I.D. Built to fit in sizes from 3" to 78".

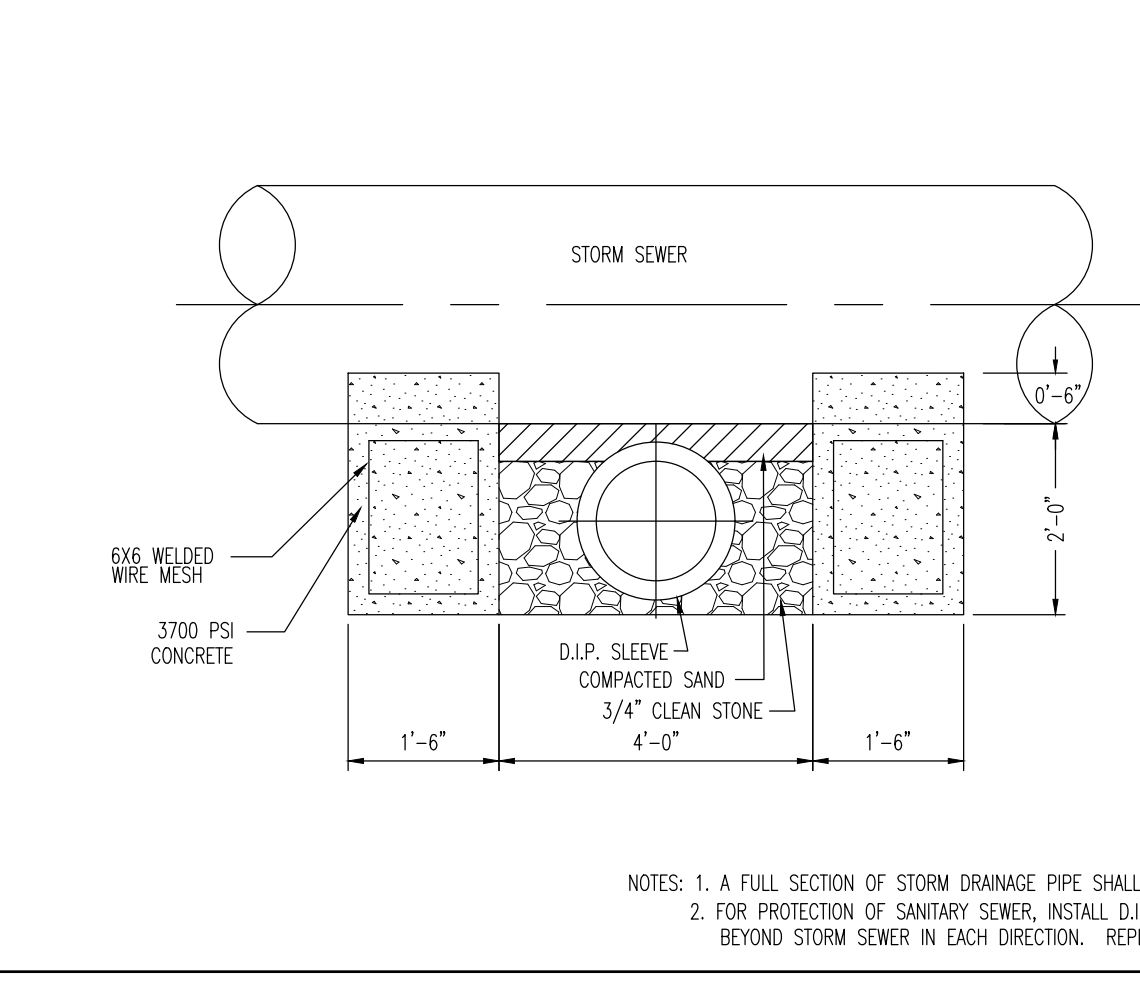
NOMINAL PIPE SIZE I.D.	OVERALL LENGTH**		CHECKMATE® VALVE		CHECKMATE® VALVE		BACK PRESSURE RATING**		WEIGHT
	Inches	Millimeters	NUMBER OF CLAMPS	CHEFF DEPTH	Feet	Meters	PSI	Kg	
3	75	5.1	130	1	1.5	38	5	1.5	0.7
4	100	7.9	201	1	1.5	38	5	1.5	0.7
5	125	9.9	241	1	1.5	38	83	25.3	4
6	150	11.0	279	1	2.0	51	83	25.3	9
7	175	12.8	325	1	2.0	51	79	24.1	11
8	200	15.2	389	1	2.0	51	79	24.1	13
9	225	18.4	391	1	2.0	51	75	22.9	17
10	250	18.1	409	1	2.0	51	71	21.6	20
12	300	18.8	503	1	2.0	51	68	20.1	37
14	350	25.8	655	1	4.0	102	64	20.0	50
16	400	28.8	728	1	4.0	102	60	18.3	52
18	450	31.0	787	1	4.0	102	56	17.1	65
20	500	42.1	1069	2	8.0	203	53	16.2	102
24	600	47.5	1207	2	8.0	203	45	13.7	137
30	750	54.8	1395	2	8.0	203	38	11.6	227
36	900	62.3	1582	2	8.0	203	30	9.1	376
42	1050	70.6	1783	2	8.0	203	26	7.9	423
48	1200	79.0	2007	2	8.0	203	23	7.0	601
54	1350	86.4	2195	2	8.0	203	17	5.2	1225
60	1500	86.5	2459	2	8.0	229	15	4.6	1504
72	1800	119.0	3023	3	12.0	305	13	4.0	2767
78	1950	119.0	3023	3	12.0	305	13	4.0	3176

**Shorter lengths available. **Back pressure measured from pipe invert. Higher back pressure ratings available. Consult factory.

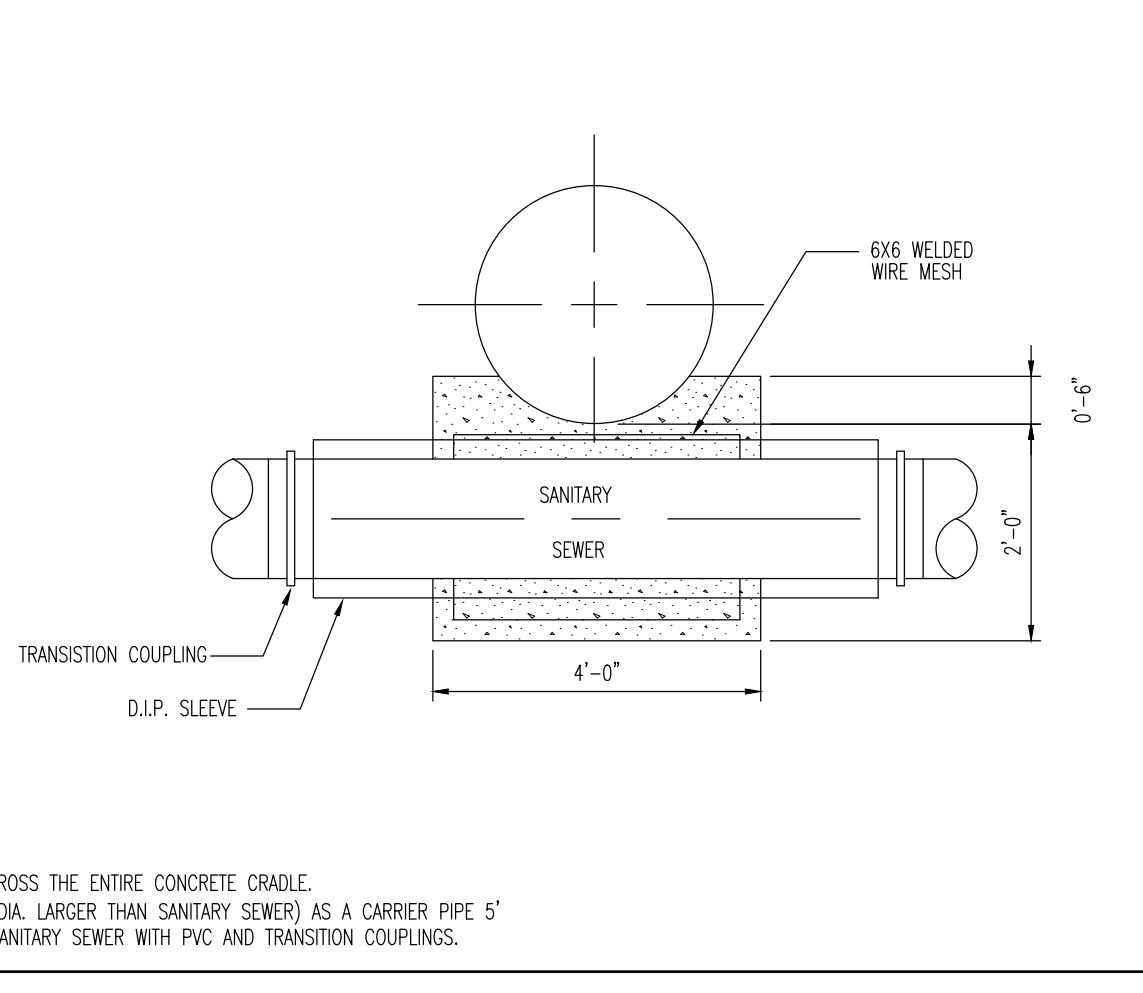
BACKFLOW PREVENTER DETAIL



UTILITY CROSSING DETAIL
NOT TO SCALE

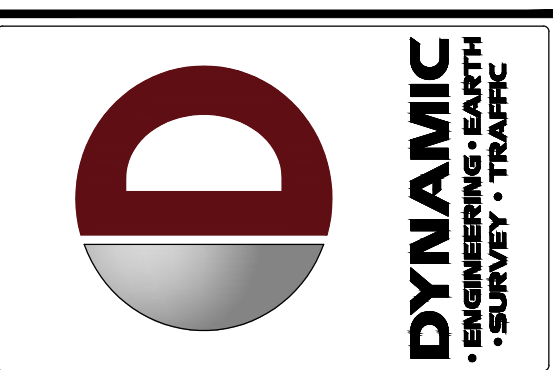


CONCRETE CRADLE DETAIL
NOT TO SCALE



NOTES:
1. A FULL SECTION OF STORM DRAINAGE PIPE SHALL BE PLACED ACROSS THE ENTIRE CONCRETE CRADLE.
2. FOR PROTECTION OF SANITARY SEWER, INSTALL D.I.P. SLEEVE (2" DIA. LARGER THAN SANITARY SEWER) AS A CARRIER PIPE 5" BEYOND STORM SEWER IN EACH DIRECTION. REPLACE EXISTING SANITARY SEWER WITH PVC AND TRANSITION COUPLINGS.

MUNICIPAL, COUNTY, STATE AND INVA DETAILS TO SUPERCEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE



REV.	DATE	COMMENTS
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: OLD 22 URBAN RENEWAL ASSOCIATES, LLC
PROPOSED MIXED-USE DEVELOPMENT
PROCK 21, LOTS 29, 30.01, & 31-33
49 NUSH ROUTE 173 (OLD HIGHWAY 22)
TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

DESIGNED BY: SLS
CHECKED BY: JWC
DRAWN BY: JTG

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BRETT W. SKAPINETZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41985

STEPHEN L. SCHWARTZ
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 48126

CONSTRUCTION DETAILS

SCALE: (H) 1" = 30'
(V) 1" = 6'

DATE: 08/13/2020

PROJECT No: 2362-99-007

SHEET No: **14** OF 18

Plotted: 09/23/20 1:45 PM, By: swall
File: P:\CEPC PROJECTS\2362 Ingerman 09-007 Clinton - R1 173(Dwg)Site Plans\0236299007SD1.dwg ---> 14 CONSTRUCTION DETAILS

LUMEC
by **signify**

Urban
UrbanScape
MPTC
Post Top

Project: _____
Location: _____
City: _____
Type: _____
Lamp: _____
Color: _____
Notes: _____

Lumec UrbanScape LED post top luminaire features flexible, robust energy-saving solutions for modern-styled urban architectural lighting. With its slightly rounded hood, the post top model comes with a flat lens to highlight the thinness of the LEDs. The luminaire provides attractive lighting at night, adding appeal to the surroundings and promoting safe use of the environment. Includes Service Tag, innovative way to provide assistance throughout the life of the product.

Luminaire ordering guide

Series	LED Module	CCT	Gen.	Optical System	Voltage	Driver	Luminaire option	Mounting	Pole	Finish
MPTC	35W32LED ¹ 55W32LED ¹ 72W32LED ² 97W32LED ²	3K 3000K	G2 (Gen.2)	LE2 Type II (ASYM) flat lens	120 208 240V	CDMG ³ Dynamidimmer for standard dimming (consult complete Dynamidimmer scenarios on pg 3)	HS House Side Shield	Consult the Signify web site for details and the complete line of Mountings	Consult the Signify web site for details and the complete line of Poles	BE2TX BE2TX BE2TX BKTXT BRXT GN4TX GN6TX GN8TX GR GX3TX NP RD2TX RD4TX TG TS WHXT
	80W48LED 100W48LED 140W48LED ² 170W48LED 200W48LED 240W48LED 347 347V 480 480V			LE3 Type III (ASYM) flat lens	240V 277V	CLO ⁴ Pre-set driver to manage lumen depreciation	PH8 Photoelectric cell			
	55W48LED 70W48LED 90W80LED 135W80LED			LE3W ¹ Type III (ASYM) wide flat lens	347 347V	AS1 ⁵ Pre-set driver for progressive start-up	PHX1 ⁷ Photoelectric cell, extended life			
				LE4 Type IV (ASYM) flat lens	480	OTL ⁶ Pre-set driver for signal end of life of the lamp	RCO ⁸ 5-Pin receptacle for photoelectric cell			
				LES Type V (SYMM) flat lens	480	DALI ⁹ Pre-set driver compatible with the DALI control system	TN3 ¹⁰ 7-Pin receptacle for photoelectric cell			

1. DMG 0-10V driver come standard. 2. The 347V and 480V are not available. 3. Not available with HS option. 4. Use of photoelectric cell or shorting cap is required to ensure proper illumination. 5. Not available with Motion Response. 6. Not available with Motion Response. 7. Not available with Motion Response. 8. Not available with Motion Response. 9. Not available with Motion Response. 10. Not available with Motion Response.

MPTC UrbanScape LED Post Top
Urban Luminaire

Dimensions
17 1/4" (441mm)
34 1/4" (885mm)
3 1/8" (80mm)

EPA: 1.7 sq ft
Weight: 32.2 lbs (14.6 kg)

Motion Response* (must be ordered as a separate item) Example: ACC-100-MR4PGI-BKTX

Series	Voltage	Motion Response module	Finish
ACC	120 277	120 volt 120 volt	
ACC	120 277	120 volt 120 volt	MR4PGI Single grey MR4PC2 Double grey MR4PWI Single white MR4PW2 Double white

*OVR option is required for Motion Response Accessory.

LED Wattage and Lumen Values for 3000K & 4000K fixtures

Ordering Code	Total LEDs	System (mA)	Average System (mA)	Lumen Output (lm)	LE2 (lm/W)	LE3 (lm/W)	LE3W (lm/W)	LE4 (lm/W)	LE5 (lm/W)
MPTC 3000K									
35W32LED-G2	32	350	37	2675	83.6	81.0	81.0	81.0	81.0
55W32LED-G2	32	530	56	4124	77.9	74.8	74.8	74.8	74.8
72W32LED-G2	32	700	70	5200	74.0	71.0	71.0	71.0	71.0
97W32LED-G2	32	1050	104	7172	68.8	65.8	65.8	65.8	65.8
80W48LED-G2	48	350	34	2875	60.1	57.9	57.9	57.9	57.9
100W48LED-G2	48	530	51	3966	82.6	79.6	79.6	79.6	79.6
140W48LED-G2	48	700	70	5200	108.3	105.3	105.3	105.3	105.3
170W48LED-G2	48	1050	104	7172	149.3	146.3	146.3	146.3	146.3
200W48LED-G2	48	1400	138	9540	198.8	195.8	195.8	195.8	195.8
240W48LED-G2	48	1750	173	12000	250.0	247.0	247.0	247.0	247.0
347W48LED-G2	48	2400	237	16400	341.7	338.7	338.7	338.7	338.7
480W48LED-G2	48	3300	326	22320	465.0	462.0	462.0	462.0	462.0
55W48LED-G2	64	350	34	3125	48.8	47.6	47.6	47.6	47.6
70W48LED-G2	64	530	51	4200	65.6	64.4	64.4	64.4	64.4
90W80LED-G2	80	350	34	2875	35.9	35.1	35.1	35.1	35.1
135W80LED-G2	80	530	51	3966	49.6	48.8	48.8	48.8	48.8
MPTC 4000K									
35W32LED-G2	32	350	37	3462	108.2	105.2	105.2	105.2	105.2
55W32LED-G2	32	530	56	4966	152.1	149.1	149.1	149.1	149.1
72W32LED-G2	32	700	70	6263	195.7	192.7	192.7	192.7	192.7
97W32LED-G2	32	1050	104	8636	269.9	266.9	266.9	266.9	266.9
80W48LED-G2	48	350	34	3125	65.2	64.0	64.0	64.0	64.0
100W48LED-G2	48	530	51	4200	87.7	86.5	86.5	86.5	86.5
140W48LED-G2	48	700	70	5200	108.3	105.3	105.3	105.3	105.3
170W48LED-G2	48	1050	104	7172	149.3	146.3	146.3	146.3	146.3
200W48LED-G2	48	1400	138	9540	198.8	195.8	195.8	195.8	195.8
240W48LED-G2	48	1750	173	12000	250.0	247.0	247.0	247.0	247.0
347W48LED-G2	48	2400	237	16400	341.7	338.7	338.7	338.7	338.7
480W48LED-G2	48	3300	326	22320	465.0	462.0	462.0	462.0	462.0

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt/deposition, light loss factor, etc. Highly recommended to confirm performance with a layout - contact Applications at signify.com/outdoorluminaire.

MUNICIPAL, COUNTY, STATE AND INHA DETAILS TO SUPERCEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

AREA LIGHT DETAIL
NOT TO SCALE

STRUCTURAL DESIGN LOADING CRITERIA

LIVE LOADING: AASHTO HS-20 HIGHWAY LOADING
GROUND WATER TABLE: BELOW INVERT OF SYSTEM
SOIL BEARING PRESSURE: 3000 PSF
SOIL DENSITY: 120 PCF
EQUIVALENT UNSATURATED LATERAL ACTIVE EARTH PRESSURE: 35 PSF / FT.
EQUIVALENT SATURATED LATERAL ACTIVE EARTH PRESSURE: 80 PSF/FT. (IF WATER TABLE PRESENT)
APPLICABLE CODES: ASTM C857, ACI-318
BACKFILL TYPE: SEE SHEET 4.0 FOR BACKFILL OPTIONS

SITE SPECIFIC DESIGN CRITERIA

- STORMTRAP UNITS SHALL BE MANUFACTURED AND INSTALLED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER OF RECORD. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/OUTLET PIPE TYPES, SIZES, INVERT ELEVATIONS AND SIZE OF OPENINGS.
- COVER RANGE: SEE TABLE. CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
- ALL DIMENSIONS AND SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE REQUIRED TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.
- FOR STRUCTURAL CALCULATIONS THE GROUND WATER TABLE IS ASSUMED TO BE BELOW INVERT OF SYSTEM. IF WATER TABLE IS DIFFERENT THAN ASSUMED, CONTACT STORMTRAP.
- SYSTEM DESIGN MAY ALLOW FOR INCIDENTAL LEAKAGE AND WILL NOT BE SUBJECT TO LEAKAGE TESTING.

BASIN #	INVERT	CHAMBER HEIGHT	TOP OF CHAMBER ELEVATION	MIN. GRADE	MAX. GRADE	GROUND WATER ELEVATION	2 YEAR ELEVATION	10 YEAR ELEVATION	100 YEAR ELEVATION
1	194.70	5.17'	200.37	201.37	203.50	193.20	196.21	197.39	199.73

STORMTRAP UNDERGROUND BASIN DETAIL
NOT TO SCALE

PERENNIAL GROUNDCOVER/SPACING DETAIL
NOT TO SCALE

AREA LIGHT DETAIL
NOT TO SCALE

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

BAYFILTER WATER QUALITY UNIT DETAIL
NOT TO SCALE

TRASH ENCLOSURE DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS

SCALE: (H) 1" = 30"
(V) 1" = 30"
DATE: 08/13/2020
PROJECT No: 2362-99-007
SHEET No: 15

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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41985

STEPHEN L. SCHWARTZ
PROFESSIONAL ENGINEER
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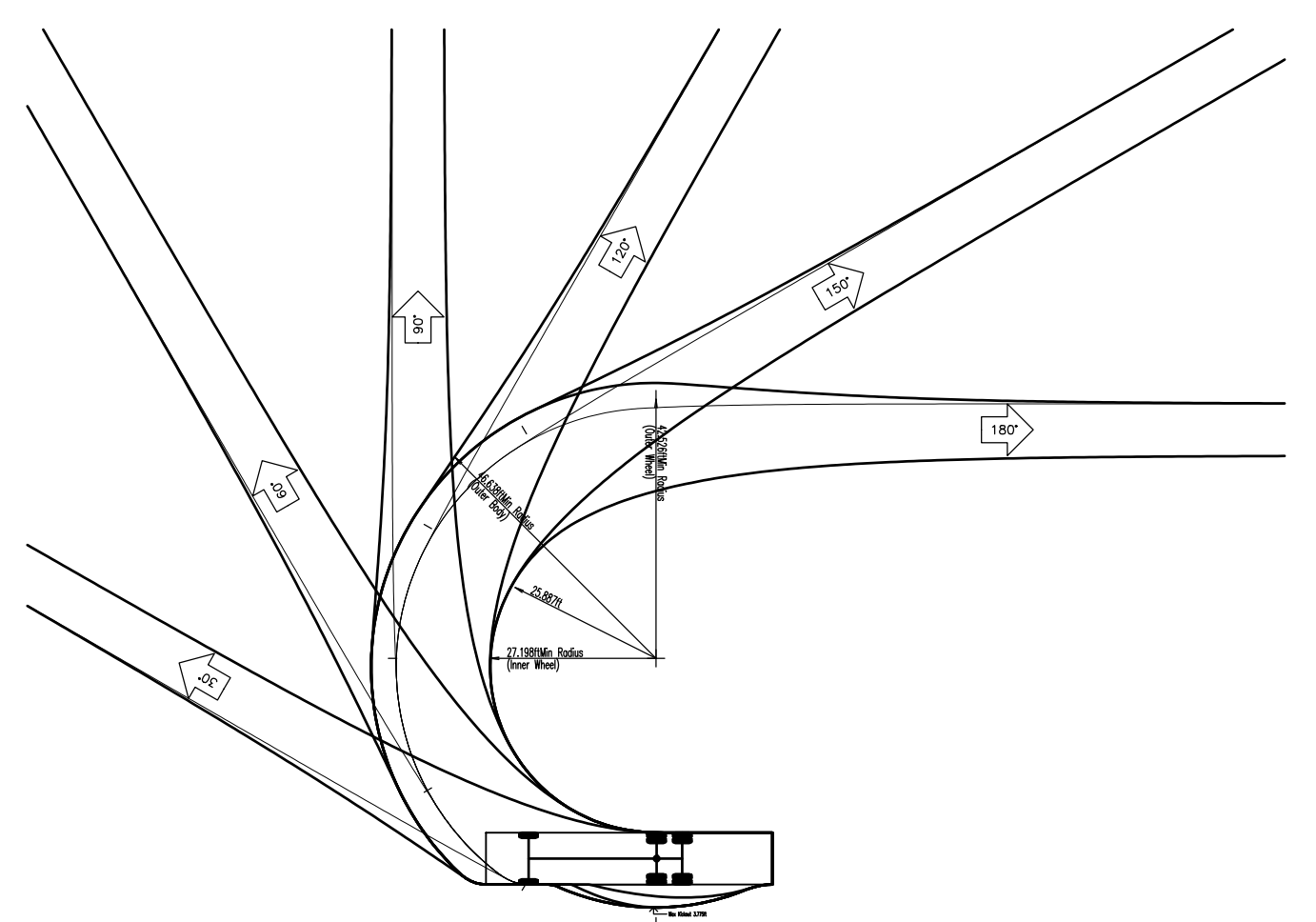
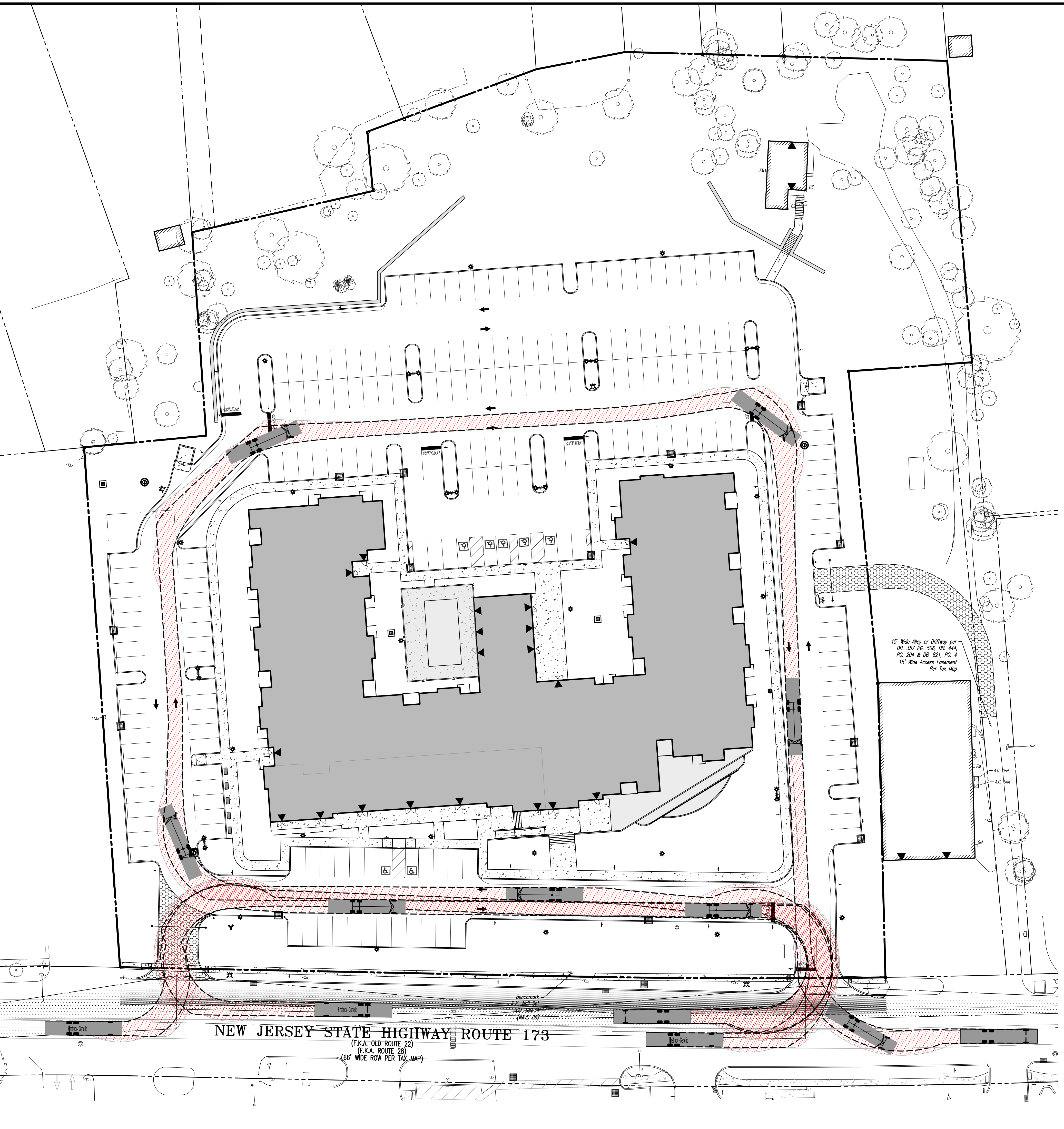
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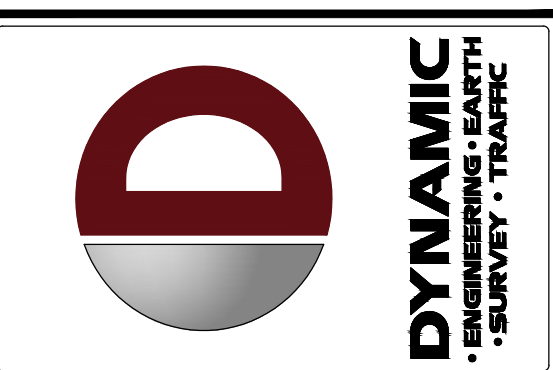
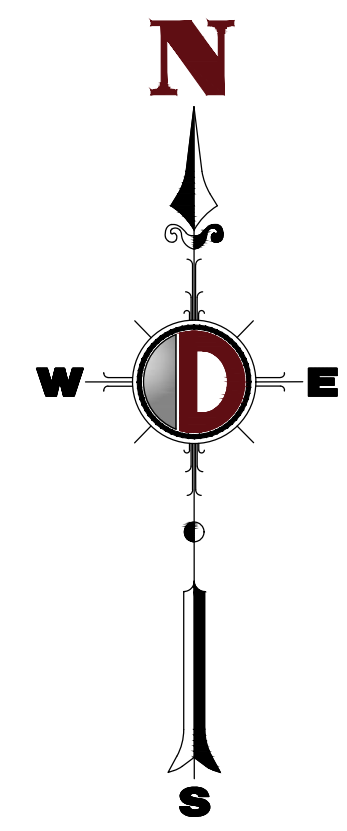
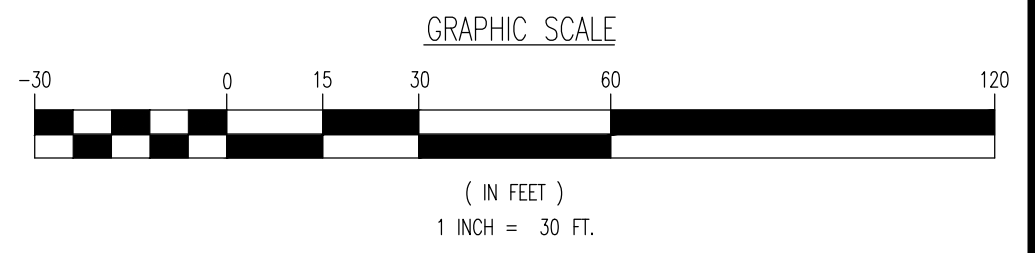
15
OF 18

Plotted: 09/23/2020 1:45 PM, By: swill, File: P:\CECPC PROJECTS\2362 Ingerman\99-007 Clinton - Rt 173(Dwg)Site Plans\0236299007SD1.dwg, --- 15 CONSTRUCTION DETAILS

Plotted: 09/23/20 - 1:46 PM, By: swell
 File: P:\VEPC PROJECTS\3362 Ingerman - R1 173(Dwg)Site Plans\0236299007SV1.dwg, ----> 16 FIRE TRUCK CIRCULATION PLAN



Overall Length	47.000ft
Overall Width	8.500ft
Overall Body Height	10.519ft
Min Body Ground Clearance	0.950ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Max Wheel Angle	40.00°



REV.	DATE	COMMENTS
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS

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DESIGNED BY: JTG
 CHECKED BY: SLS
 DRAWN BY: JWG

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
 BLOCK 21, LOTS 29, 30.01, & 31-33
 49 NUSH ROUTE 173 (OLD HIGHWAY 22)
 TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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BRETT W. SKAPINETZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41985

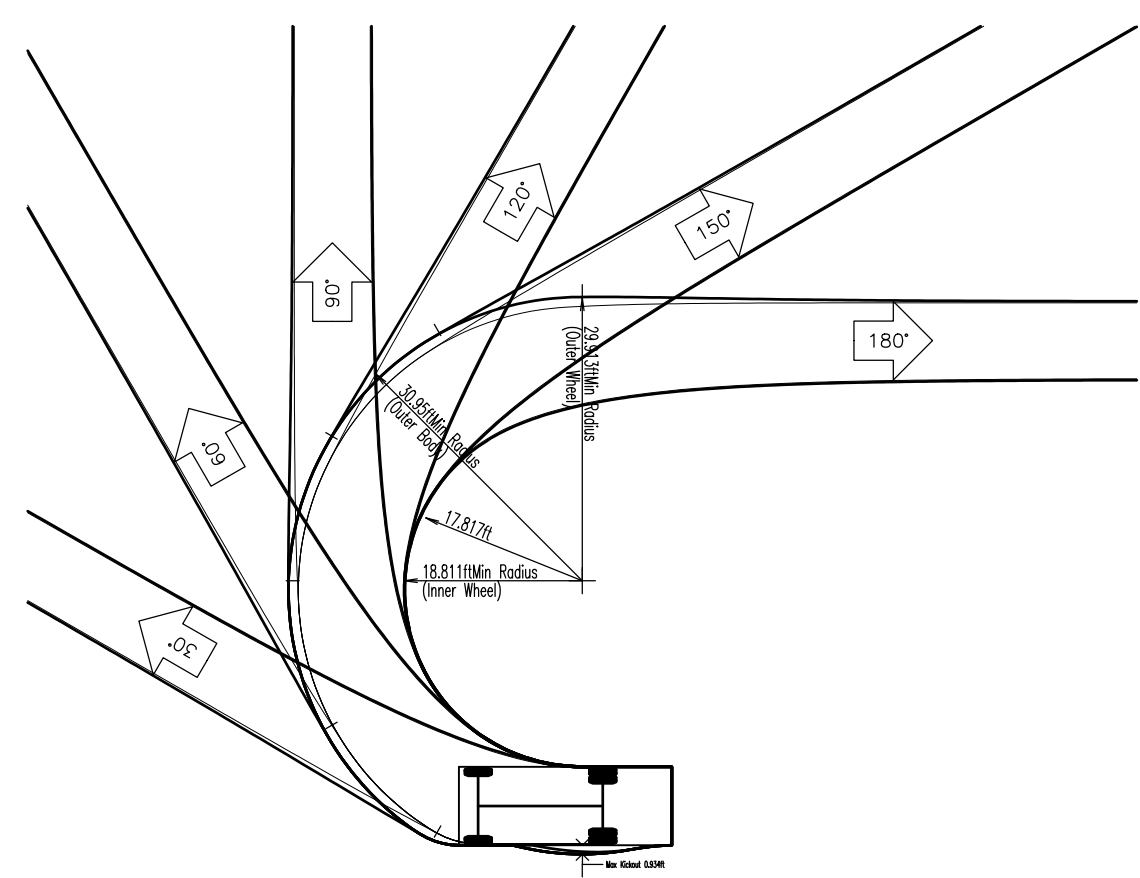
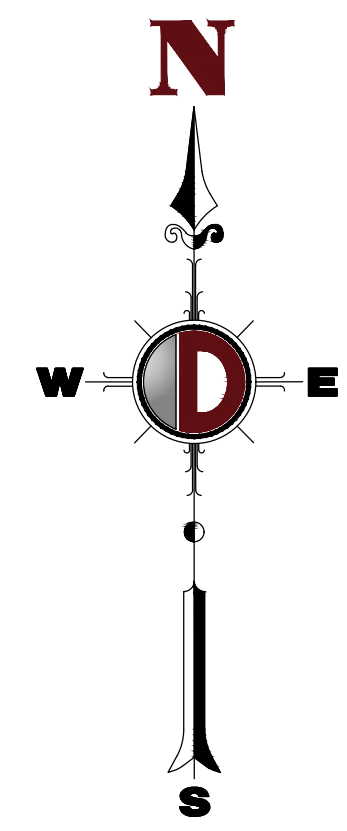
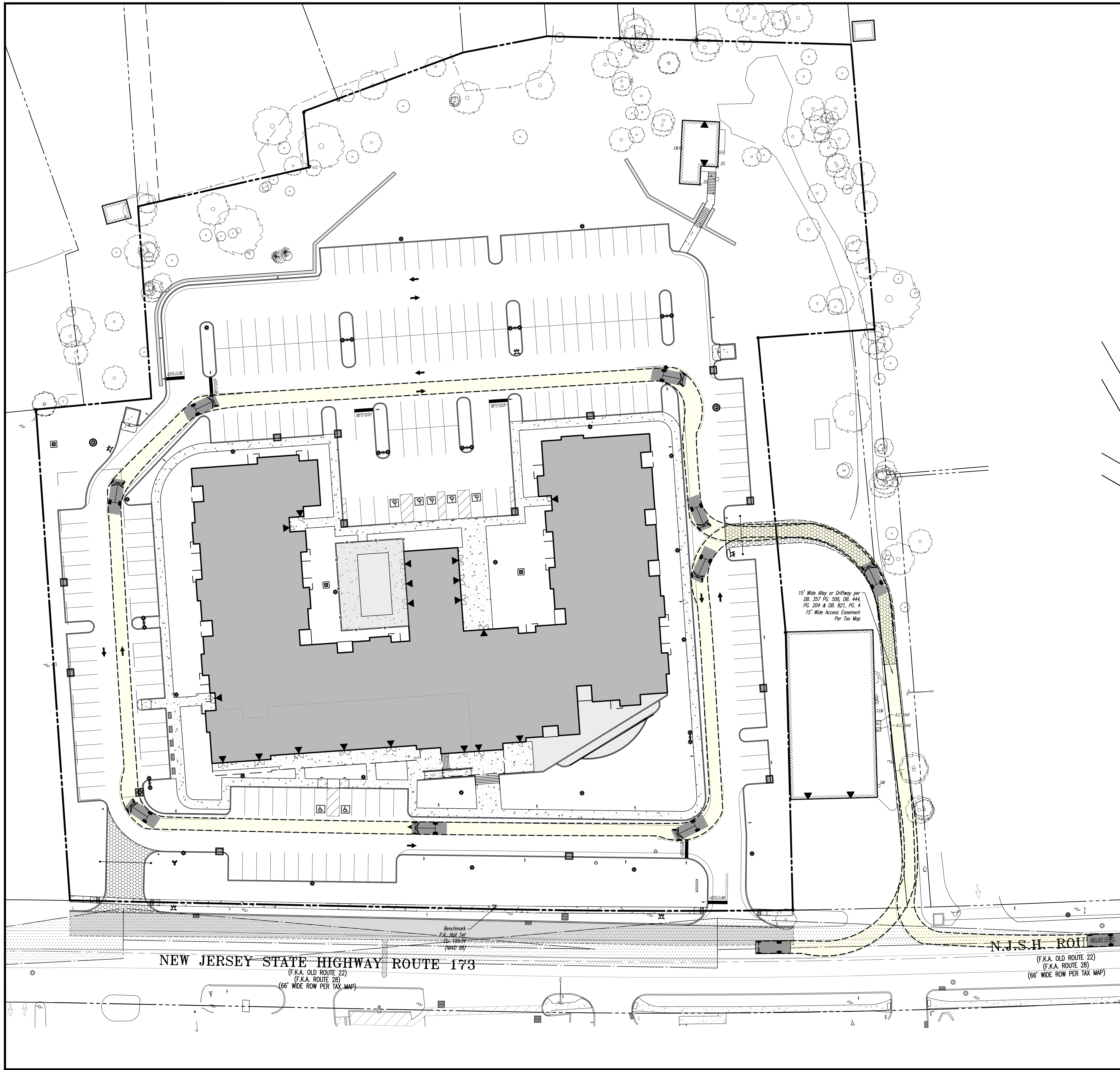
STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 48126

TITLE: **FIRE TRUCK CIRCULATION PLAN**

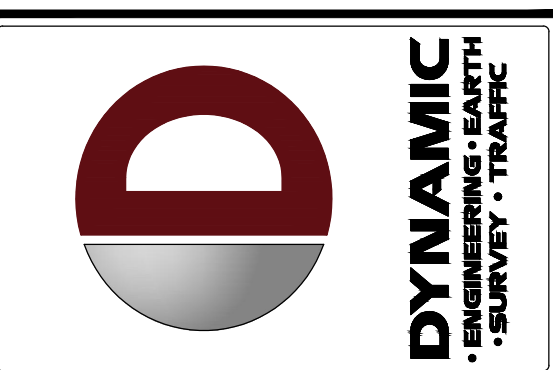
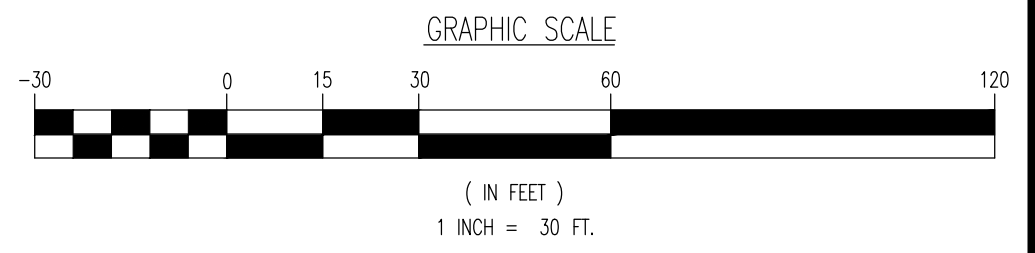
SCALE: (H) 1" = 30'
 (V) 1" = 30'
 DATE: 08/13/2020
 PROJECT No: 2362-99-007

SHEET No: **16** Rev. #: 1
 OF 18

Plotted: 09/23/20 - 1:46 PM, By: swell
 File: P:\CEPC PROJECTS\3362 Ingerman - Rt 173 (Dwg) Site Plans\0236299007SV1.dwg -> 17 EMERGENCY VEHICLE CIRCULATION PLAN



	22.5	22.500ft
Overall Length	8.300ft	8.300ft
Overall Width	1.185ft	1.185ft
Min. Body Height	1.261ft	1.261ft
Track Width	6.000ft	6.000ft
Lock-to-lock time	3.00s	3.00s
Max Steering Angle (Virtual)	30.00°	30.00°



REV.	DATE	COMMENTS	BY
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS	SWM

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DESIGNED BY: JWG
 CHECKED BY: SLS
 DRAWN BY: JTG
 CHECKED BY: SLS

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
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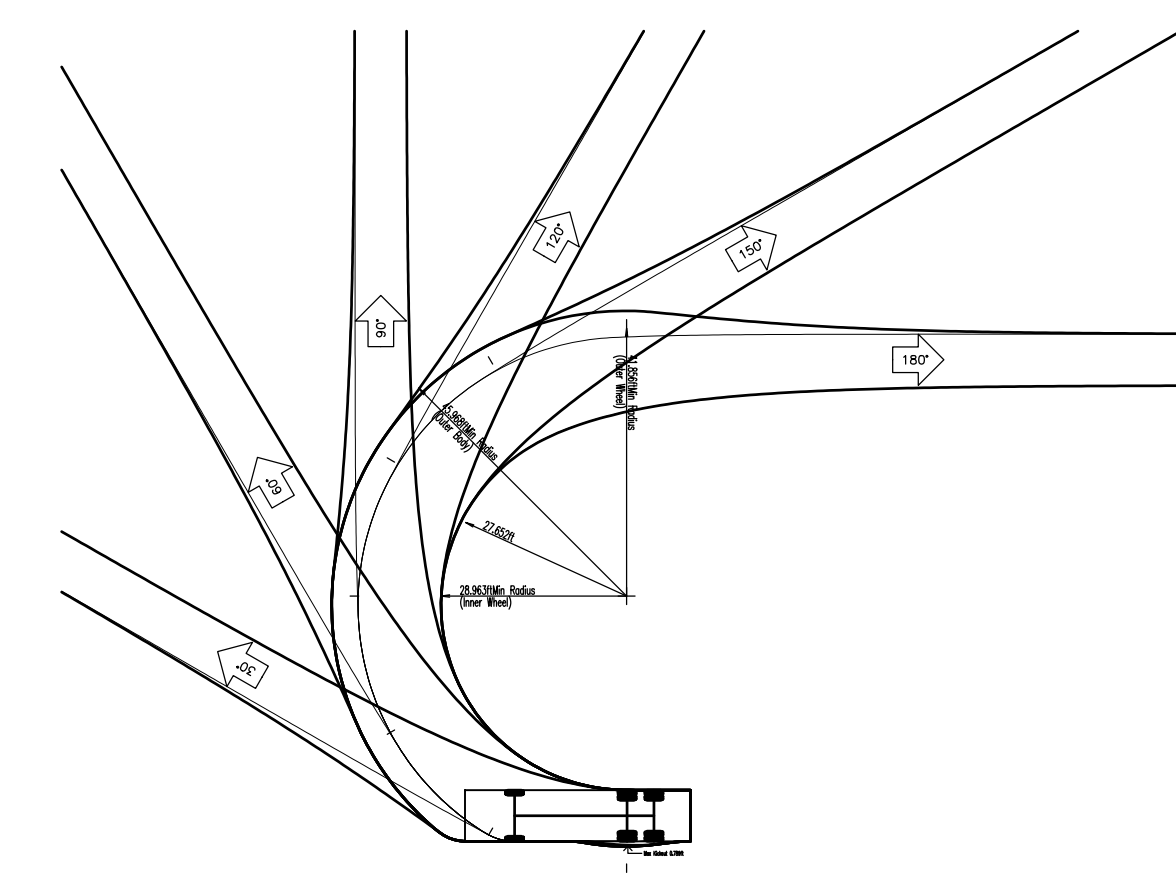
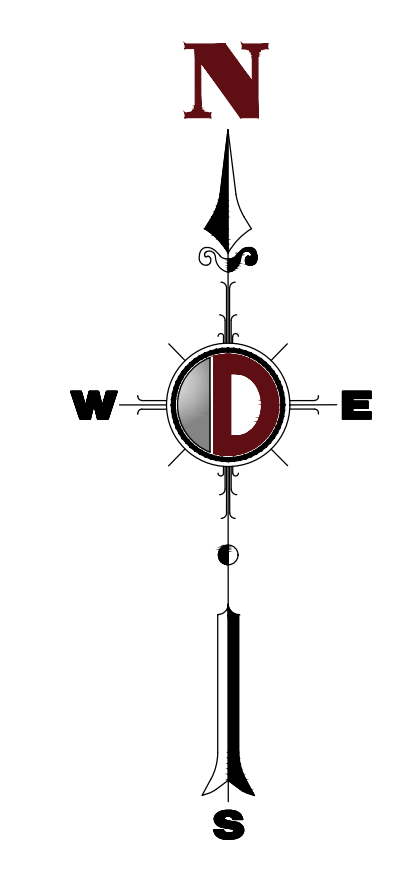
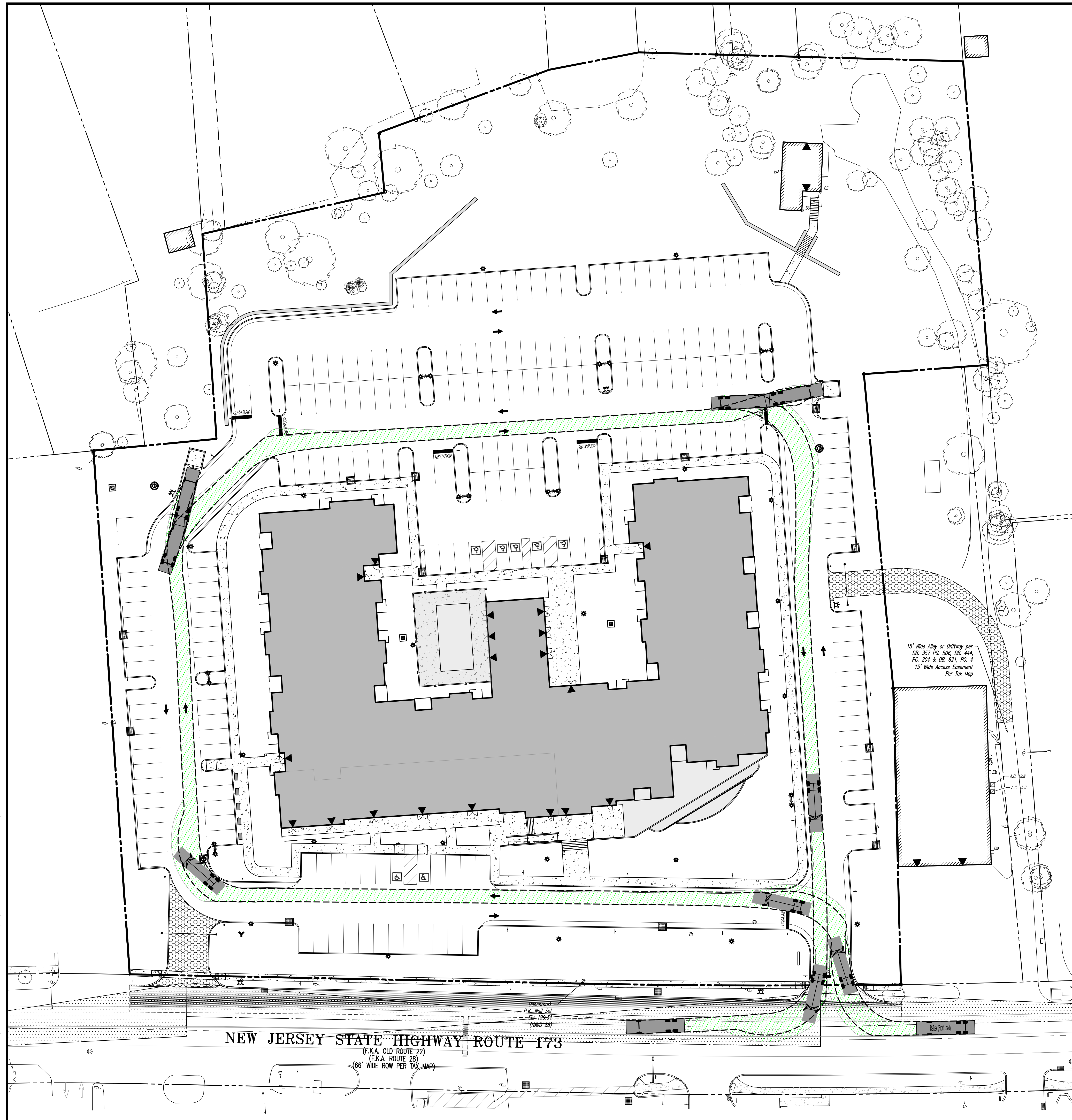
STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
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TITLE: **EMERGENCY VEHICLE CIRCULATION PLAN**

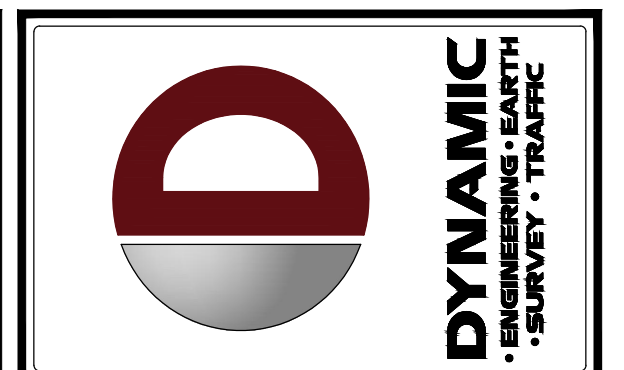
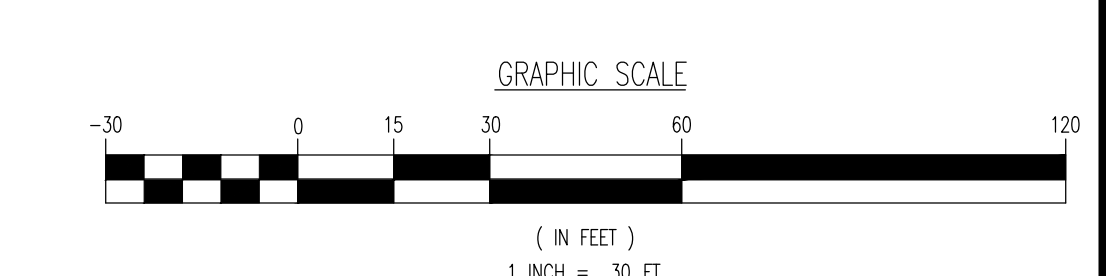
SCALE: (H) 1" = 30'
 (V) 1" = 30'
 PROJECT No: 2362-99-007
 DATE: 08/13/2020

SHEET No: **17** OF 18
 Rev. #: 1

Plotted: 09/23/20 - 1:46 PM, By: swell
 File: P:\VEPC PROJECTS\3362 Ingerman - R1 173(Dwg)Site Plans\0236299007SV1.dwg, ----> 18 REFUSE TRUCK CIRCULATION PLAN



Refuse (Front Load)	35.230ft
Overall Length	28.000ft
Overall Width	13.500ft
Min Body Ground Clearance	0.961ft
Track Width	6.000ft
Lock-to-lock time	6.00s
Max Wheel Angle	33.90°



REV.	DATE	COMMENTS	BY
1	09/22/20	REVISED PER NEIGHBOR & FIRE DEPARTMENT COMMENTS	SWM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: JTG
 CHECKED BY: SLS
 DRAWN BY: JWG

PROJECT: **OLD 22 URBAN RENEWAL ASSOCIATES, LLC**
PROPOSED MIXED-USE DEVELOPMENT
 BLOCK 21, LOTS 29, 30.01, & 31-33
 49 NUSH ROUTE 173 (OLD HIGHWAY 22)
 TOWN OF CLINTON, HUNTERDON COUNTY, NEW JERSEY

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STEPHEN L. SCHWARTZ
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 48126

TITLE: **REFUSE TRUCK CIRCULATION PLAN**

SCALE: (H) 1" = 30'
 (V) 1" = 30'
 PROJECT No: 2362-99-007
 SHEET No: **18** OF 18

DATE: 08/13/2020
 Rev. #: 1